



**RIVERDALE CITY PLANNING COMMISSION AGENDA  
CIVIC CENTER - 4600 S. WEBER RIVER DR.  
TUESDAY – OCTOBER 25, 2016**

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**6:00 p.m. – Work Session (City Council Conference Room)**

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

**6:30 p.m. – Planning Commission Meeting (Council Chambers)**

**A. Welcome & Roll Call**

**B. Open Communications**

(This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes.)

**C. Presentations and Reports**

1. Community Development Projects Status Report

**D. Consent Items**

1. Approval of Planning Commission Meeting Minutes from:  
September 13, 2016 Work Session  
September 13, 2016 Regular Meeting

**E. Action Items**

1. a. Public Hearing: Consideration of Rezone request for properties located at approximately 1378 West Ritter Drive from Agricultural Zone (A-1) to Single-Family Residential Zone (R-1-6).

b. Make a Zoning Recommendation to the City Council.

*Presenter: Mike Eggett, Community Development Director*

2. Consideration of Site Plan Amendment for Cutrubus Wasatch Front Kia located at approximately 770 West Riverdale Road, Riverdale, Utah 84405.

*Presenter: Mike Eggett, Community Development Director*

**F. Discretionary Items**

**G. Adjournment**

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In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

**Certificate of Posting**

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted on October 21, 2016 at the following places: 1) the Riverdale City Hall Noticing Board, 2) the Riverdale City website: <http://www.riverdalecity.com/>, 3) the Utah Public Notice website: <http://www.utah.gov/pnm/index.html>, and 4) the Standard-Examiner.

Jackie Manning  
Riverdale City Recorder

**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 25, 2016**

**AGENDA ITEM: D**

- SUBJECT:** Consideration of meeting minutes for the prior Planning Commission Meeting held on September 13, 2016.
- PRESENTER:** Jackie Manning, City Recorder
- ACTION REQUESTED:** Consideration of approval.
- INFORMATION:**
- a. [Work Session Meeting Planning Commission Minutes 09/13/16](#)
  - b. [Regular Meeting Planning Commission Minutes 09/13/16](#)

**[BACK TO AGENDA](#)**

1 Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday, September 13, 2016, at 6:00 PM, at  
2 the Civic Center in the Administrative Offices, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.  
3  
4

5 **Present:** Commissioners: Steve Hilton, Chairman  
6 Blair Jones, Commissioner  
7 Kathy Eskelsen, Commissioner  
8 David Gailey, Commissioner  
9 Lori Fleming, Commissioner  
10 Robert Wingfield, Commissioner  
11  
12 **Excused:** Michael Roubinet, Commissioner  
13  
14  
15 **City Employees:** Mike Eggett, Community Development  
16 Jackie Manning, City Recorder  
17  
18 **Others Present:** No members of the public were present  
19

20 Chairman Hilton welcomed the Planning Commission members to the Work Session and stated for the record that all  
21 were in attendance with the exception of Commissioner Roubinet who is excused.  
22

23 **Presentations and Reports:** Chairman Hilton turned the time over to Mr. Eggett who reported the following:  
24

- 25 • Maverik is continuing construction.
  - 26 • Target remodel has begun.
  - 27 • Seasonal Halloween stores are open.
- 28

29 There was a discussion regarding properties owned by H&P Investments, specifically the plans H&P has for Wells  
30 Fargo Bank and the Cadillac Car Dealership. Mr. Eggett encouraged the Planning Commissioners to ask the H&P  
31 Investment representative for definitive answers, as he was unsure.  
32

33 **Consent Items:**

34 Chairman Hilton asked for any changes or corrections to the minutes for regular and work session Planning  
35 Commission Meeting that was held on August 23, 2016. There were no corrections requested.  
36

37 **Action Items:**

38 Chairman Hilton invited discussion regarding the first action item, consideration of recommendation for approval of  
39 Riverdale Town Square (H&P Inv. redevelopment) Final Site Plan, 845 West Riverdale Road, Riverdale, Utah 84405. Mr.  
40 Eggett summarized the executive summary found in the packet.  
41

42 Commissioner Fleming asked for clarification regarding the color schemes for the new development. Mr. Eggett  
43 referred to the packet for color renderings.  
44

45 Mr. Eggett referred to the outstanding items/concerns as noted by the Public Works Director, Shawn Douglas. Mr.  
46 Eggett stated he received verbal confirmation from Mr. Douglas indicating these items had been resolved.  
47

48 There was a brief discussion regarding the materials used for the proposed development. Mr. Eggett indicated this  
49 development will be unique with a modern look.  
50

51 Commissioner Hilton asked if Riverdale City had ever thought to have a specific building design personality. Mr.  
52 Eggett discussed the pros and cons of having themed developments in a City. Mr. Eggett discussed the development  
53 challenges for businesses when a personality is established and explained it can sometimes discourage developers from  
54 coming into a city.  
55

56 There was a brief discussion regarding the potential restaurants and retailers for the new H&P Investment  
57 development. There was a discussion regarding landscaping to promote water preservation.  
58

59 **Discretionary Items:**

60 There were no discretionary items.  
61

62 **Adjourn:**

63 Having no further business to discuss the Planning Commission adjourned at 6:21 PM to convene into their Regular  
64 Planning Commission Meeting located in the Council Chambers.  
65  
66  
67

Minutes of the Regular Meeting of the Riverdale City Planning Commission held Tuesday, September 13, 2016, at 6:30 PM, at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

**Present:** Commissioners: Steve Hilton, Chair  
Blair Jones, Vice-Chair  
Lori Fleming, Commissioner  
David Gailey, Commissioner  
Michael Roubinet, Commissioner  
Kathy Eskelsen, Commissioner  
Robert Wingfield, Commissioner

City Employees: Mike Eggett, Community Development  
Jackie Manning, City Recorder

Excused: Michael Roubinet

Visitors: Braden Moore Brent Ellis Dave Pierson Troy Cutrubus

**A. Welcome & Roll Call**

Chairman Hilton welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present, with the exception of Commissioner Roubinet, who is excused.

**B. Open Communications**

Chairman Hilton asked for any open communications and there were not any.

**C. Presentations and Reports**

Chairman Hilton turned the time over to Mr. Eggett who reported the following:

- Maverik is continuing construction.
- Target remodel has begun.
- Seasonal Halloween stores are open.

**D. Consent Items**

**1. Consideration of meeting minutes from the Planning Commission Meeting held on August 23, 2016.**

Chairman Hilton asked for changes or corrections to the Planning Commission meeting minutes for August 23, 2016 Work Session and Regular Meeting. There were no corrections requested.

**MOTION:** Commissioner Fleming moved to approve consent items meeting minutes as written.  
Commissioner Wingfield seconded the motion.

There was no discussion regarding this motion.

**CALL THE QUESTION:** The motion passed unanimously.

**E. Action Items**

**1. Consideration of recommendation for approval of Riverdale Town Square (H&P Inv. Redevelopment) Final Site Plan, 845 West Riverdale Road, Riverdale, Utah 84405.**

Mr. Eggett summarized an executive summary which explained:

H&P Investments, as represented by Dave Pierson, have updated the drawings and Preliminary Site Plan information of the Redevelopment Master Site Plan that will operate as a commercial retail center located at approximately 845 West Riverdale Road, between 900 West and Tony Divino Toyota, in a Regional Commercial (C-3) zone. This redevelopment area has now been named, Riverdale Town Square. This site plan is being proposed for development on property currently owned by H&P Investments. Per the applicant, the desired uses are commercial retail and food service type uses. A public hearing is not required to consider this Site Plan proposal.

Title 10 Ordinance Guidelines (Code Reference)

This Final Site Plan review is regulated under City Code 10-25 "Development in All Zones", and is affected by City Codes 10-10A "Regional Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

On September 1, 2016, the Design Review Committee reviewed the exterior elevation renderings, architectural materials, landscaping and irrigation plan, as well as signage concepts, and provided approval of these four elements for the Riverdale Town Square project.

All supporting documentation is located within the packet including department reviews. The City Attorney, Steve Brooks, stated all outstanding items as listed by the Public Works Director, Shawn Douglas, in the department reports must be addressed prior to approving this project. Mr. Eggett stated he has received verbal confirmation from Mr. Douglas that his previous concerns regarding the outstanding items for this development have been addressed and he feels comfortable with the project moving forward.

**General Plan Guidance (Section Reference)**

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

Dave Pierson, representative of H&P Investment, invited questions. Commissioner Fleming asked about the access points in relation to the potential variance from Utah Department of Transportation (UDOT). Mr. Pierson stated they received a variance from UDOT. He discussed the striping requirements and road dedication that is currently in process to comply with UDOT.

Chairman Hilton inquired about the water meter issues. Mr. Pierson explained he has been in conversation with Mr. Douglas regarding the water meters, and the resolution was a change in building design and meter location after reassessing the water needs for the development.

**MOTION:** Commissioner Jones moved to recommend approval to the City Council for the proposed Riverdale Town Square (H&P Inv. redevelopment) Final Site Plan, 845 West Riverdale Road, Riverdale, Utah 84405, contingent upon the applicants addressing the outstanding items. Commissioner Fleming seconded the motion.

There was no discussion regarding this motion.

**ROLL CALL VOTE:** Commissioner Wingfield, Eskelsen, Fleming, Gailey, Jones, Hilton all voted in favor.

**F. Discretionary Items**

There was a brief discussion regarding local residents concerns, such as tree removal and the proper procedures. Commissioner Gailey inquired about the newest proposed park in regards to funding. Mr. Eggett stated at this time there was no update regarding the proposed park and there was also no funding at this time.

**G. Adjournment**

**MOTION:** There being no further business to discuss, Commissioner Fleming moved to adjourn the meeting. Commissioner Wingfield seconded the motion; all voted in favor.

The meeting adjourned at 6:45 PM.

\_\_\_\_\_  
Steve Hilton  
Planning Commission Chair

\_\_\_\_\_  
Jackie Manning  
City Recorder

Date Approved: **October 25, 2016**

**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 25, 2016**

**AGENDA ITEM: E1**

**SUBJECT:** Consideration of Rezone request for properties located at approximately 1378 West Ritter Drive from Agricultural Zone (A-1) to Single-Family Residential Zone (R-1-6).

**PRESENTER:** Mike Eggett, Community Development

**ACTION REQUESTED:** Public Hearing & Recommendation to City Council

**INFORMATION:**

- a. [Executive Summary](#)
- b. [Rezone Area](#)
- c. [Application](#)
- d. [Public Hearing Notice Rezone Checklist](#)
- e. [Entities Affected List](#)
- f. [10-9a-205\(4\)\(a\) Notice](#)
- g. [Certified Sign Placement](#)

**[BACK TO AGENDA](#)**



## Planning Commission Executive Summary

For the Commission meeting on: 10-25-2016

Petitioner: American Landmark Group LLC and the  
Coleman Family  
*Represented by Hal Hayman*

### Summary of Proposed Action

American Landmark Group LLC, the petitioner in this matter, is requesting a rezone of properties located at approximately 1378 West Ritter Drive from the current Agricultural (A-1) zone to a proposed Single-Family Residential (R-1-6) zoning to allow for potential future subdivision development opportunities for these properties. Additionally, there is a small parcel of property on the corner of Ritter Drive and 1500 West that is owned by Riverdale City and is proposed to be included with this rezone request. This request is for approximately 10.29 acres of land that would be affected by the proposed rezone request (see the attached zoning map document for more information). As required by State Code and to allow for public commentary, a public hearing has been noticed and scheduled to receive and consider public comment on the proposed amendment to the zoning map. Following the public hearing, the Planning Commission may make a recommendation to the City Council regarding this rezone request.

### Title 10 Ordinance Guidelines (Code Reference)

This rezone request is regulated under City Code 10-5 "Rezone Requests" and is affected by City Codes 10-8 "Agricultural Zones (A-1)" and 10-10-9B "Single-Family Residential Zones (R-1-10, R-1-8, R-1-6, R-1-4.5)".

The petitioner's properties are currently listed in the County Records under the ownership of Howard C Coleman Family Trust, Howards Land LLC, and Riverdale City. These Coleman Family properties are currently being utilized as agricultural and grazing use properties and have been operating in this fashion for many years. At current time the zoning is compatible with the current use on the site.

American Landmark Group has entered into a purchase agreement with the Coleman Family for the properties affected by this petition. American Landmark Group representatives have indicated that the group's intent for the properties is to potentially subdivide the properties into single-family residential lots that could be accessible from 1500 West, Ritter Drive, and 1250 West respectively.

The appropriate application and supporting documentation have been submitted and provided to the Planning Commission for review (please see attached documentation for more).

This request for rezone is in agreement with the General Plan for this location as this property is established in the General Plan Land Use section as Residential - Low Density.

For more information relative to the zoning codes affecting this request and permitted and conditional uses for these zones, please reference the respective sections of City Code, as noted above.

Public hearing notifications required by State and City Codes have been completed in conformance with the standards established by these Codes and as reflected in the attached documentation. The public hearing was also scheduled based on input from all Planning Commissioners who were in support of holding the public hearing for this request on October 25<sup>th</sup>, 2016.

Staff would encourage the Planning Commission to review this matter, including concerns outlined herein,

and then discuss with the petitioners any concerns that may arise in this matter. Staff would then recommend that the Planning Commission act accordingly to recommend, table, or not recommend the rezone to the City Council based upon sufficient findings of fact to support the Planning Commission recommendation.

**General Plan Guidance (Section Reference)**

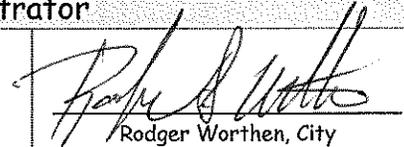
Listed as Residential - Low Density, which is agreeable with the petitioner's request.

**Legal Comments - City Attorney**



Steve Brooks, Attorney

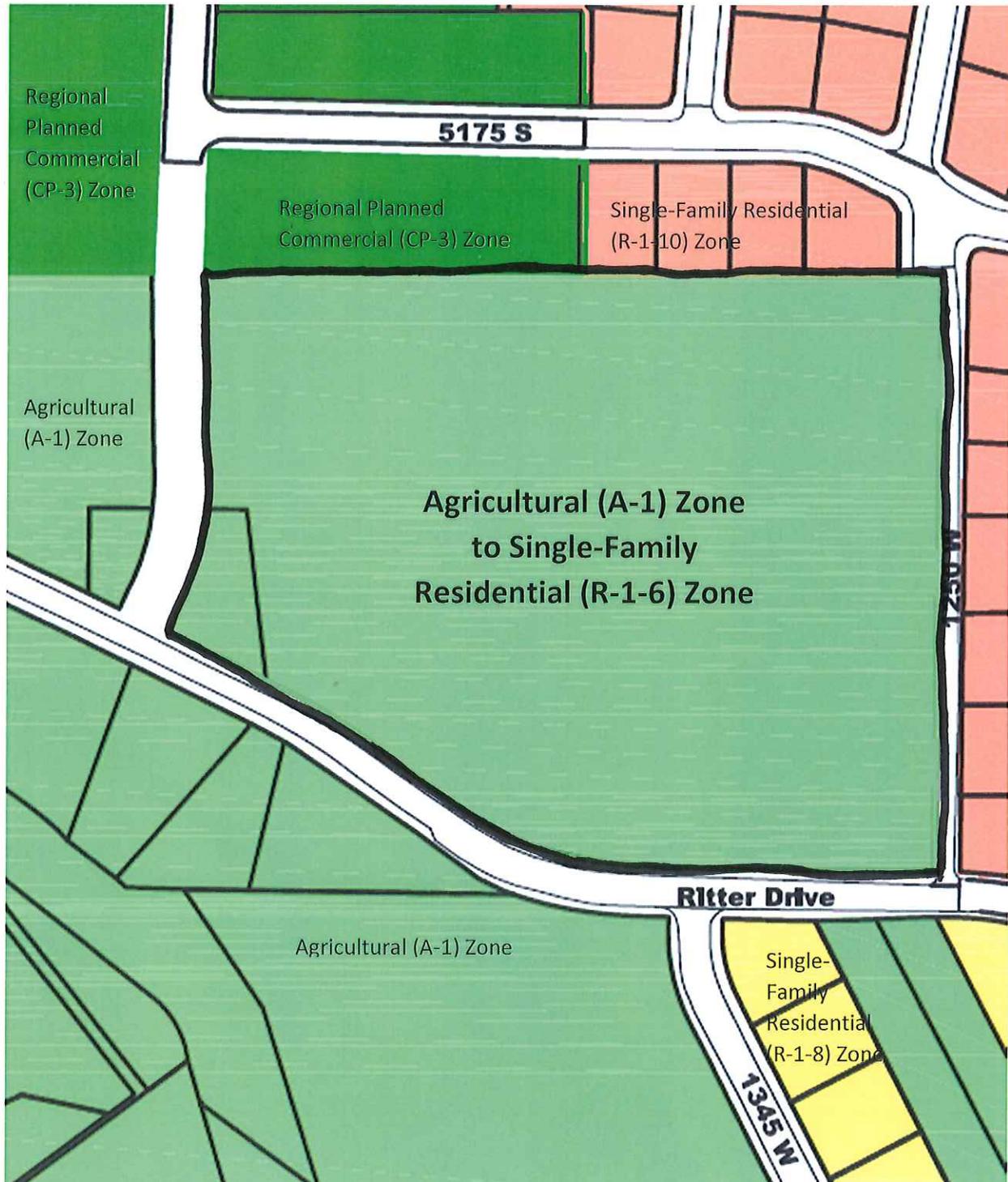
**Administrative Comments - City Administrator**



Rodger Worthen, City  
Administrator

October 11<sup>th</sup>, 2016

Coleman Property/American Landmark Group LLC – rezone request for properties along Ritter Drive, 1250 W., and 1500 W. from Agricultural (A-1) Zone to Single-Family Residential (R-1-6) Zone. Area bound in black proposed to be rezoned as noted. Property on the corner of Ritter Drive and 1500 W. owned by Riverdale City.





# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405

## RIVERDALE CITY REZONE REQUEST APPLICATION

DATE SUBMITTED: 10-11-16 FEE SCHEDULE: **\$250**

APPLICANT NAME: AMERICAN LANDMARK GROUP LLC - Hal Hayman c/o PHONE NUMBER: On File

APPLICANT ADDRESS: AMERICAN LANDMARK GROUP  
On File

ADDRESS OF SITE: 1378 WEST RITTER DRIVE

PROPERTY OWNER: HOWARDS LAND LLC / HOWARD C. COLEMAN FAMILY TRUST

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PRESENT ZONING:   / AG

PRESENT USE: 1 RESIDENCE w/ HORSE PROPERTY

PROPOSED ZONING: R-1-6

PROPOSED USE: RESIDENTIAL SUBDIVISION

PROPERTY ACREAGE: 10.29 ACRES

Answer the following questions with specifics on a separate sheet. This information will be forwarded to the Planning Commission members for review.

- A. Why should the present zoning be changed?
- B. How is the proposed change in harmony with the City General Plan for this area?
- C. If the proposed change is not in harmony, what conditions and circumstances have taken place in the general area since the General Plan was adopted to warrant such a change?
- D. How is the change in the public interest as well as the applicant's desire?

[Signature]  
Signature of Applicant

[Signature]  
Signature of Property Owner

I authorize AMERICAN LANDMARK GROUP LLC to act as my representative in all matters relating to this application.



## **APPLICATION REQUIREMENTS AND PROCEDURE FOR REZONE REQUEST**

1. The applicant shall submit to the City Recorder the following:
  - a. Completed REZONE REQUEST APPLICATION formally requesting a rezone and stating the reasons for the request.
  - b. PROPERTY PLAT MAP of the area of the requested rezone. Plats are available at the Weber County Recorder's Office.
  - c. LEGAL DESCRIPTION of the subject property.
  - d. REZONE REQUEST FEE of \$250 as established by resolution of the Riverdale City Council.
  
2. The Planning Commission, following the public hearing, will consider action to approve or deny the rezone request. The Planning Commission may take up to thirty (30) days following the public hearing to act on the rezone request. The decision of the Planning Commission will be forwarded to the City Council with the Planning Commission recommendation. The City Council will then make the final decision. If the request is approved, an ordinance will be signed and filed. The application / property owner may obtain a copy of the ordinance if desired.
  
3. If approved, the rezone will become effective upon posting of the ordinance.

Planning Commission scheduled public hearing:

Date: \_\_\_\_\_ Decision: \_\_\_\_\_

City Council consideration of application:

Date: \_\_\_\_\_ Decision: \_\_\_\_\_

## Riverdale City Rezone Request

### Attachment "A"

#### A. Why should the present zoning be changed?

As Developers of residential properties we strive to provide the best possible product that the market is asking for. In doing so it is obvious that the mature (Baby Boomer) home owner or buyer is looking for a smaller less burdensome residence. Their children have grown and left home. Many, to distant locations which makes it difficult and less likely that their grandchildren will be visiting often. They prefer smaller yards, smaller homes with a single floor design, no steps and most have their residences maintained by professionals so that they have the freedom to leave the home at short notice and for as long as they like knowing that the home will be as they left it upon their return.

The younger generation home owner is looking for the same type of residence. They have shown less confidence in the prospect of working for the same company for a lifetime as their parents did. They expect that they will be moving more often than past generations. They are asking for smaller, less burdensome residences. There will always be those who want a large property and those are available but national trends show that to be a declining lifestyle.

The cost for undeveloped land has continued to rapidly escalate despite the "Great Recession and Housing Bubble" and the cost of development has followed suit. This trend has outpaced the buying capacity of many families and the best solution is to offer smaller building lots at a reasonable and fair value.

#### B. How is the proposed change in harmony with the City General Plan for this area?

The property and the surrounding residential area is presently zoned ~~R-1-8~~<sup>A-1</sup>. Our request to rezone to R-1-6 is still in harmony to the plan in that the land will still be residential and even though we are requesting the R-1-6 it is our intent to have a mix of lot sizes 6,000 square foot and larger. Some being 10,000 square foot and larger.

Our intent is to bring together people from all walks of life and create a vibrant diverse community of mature "Empty Nesters", younger families, and established families who prefer a larger residence.

Our CC&R's will be quite comprehensive and restrictive as to the types of construction and products, design of the residence and value of the homes allowed. The homes will be equal to or greater in value than many of the surrounding homes. We have no intention of building a community of "Cookie Cutter" residences as has been done in the past by some developers.

We have been working with the city staff to come up with creative solutions to the completion of Ritter Drive and have adjusted our design of the subdivision to help the whole area meet the intent of the General Plan.

**C. If the proposed change is not in harmony, what conditions and circumstances have taken place in the general area since the General Plan was adopted to warrant such a change?**

We believe that the proposed change is in harmony with the General Plan. The property is one of the last available parcels for Riverdale City to help create a great Residential Community for those who want to live in the city, with a great theme based on the history of the property.

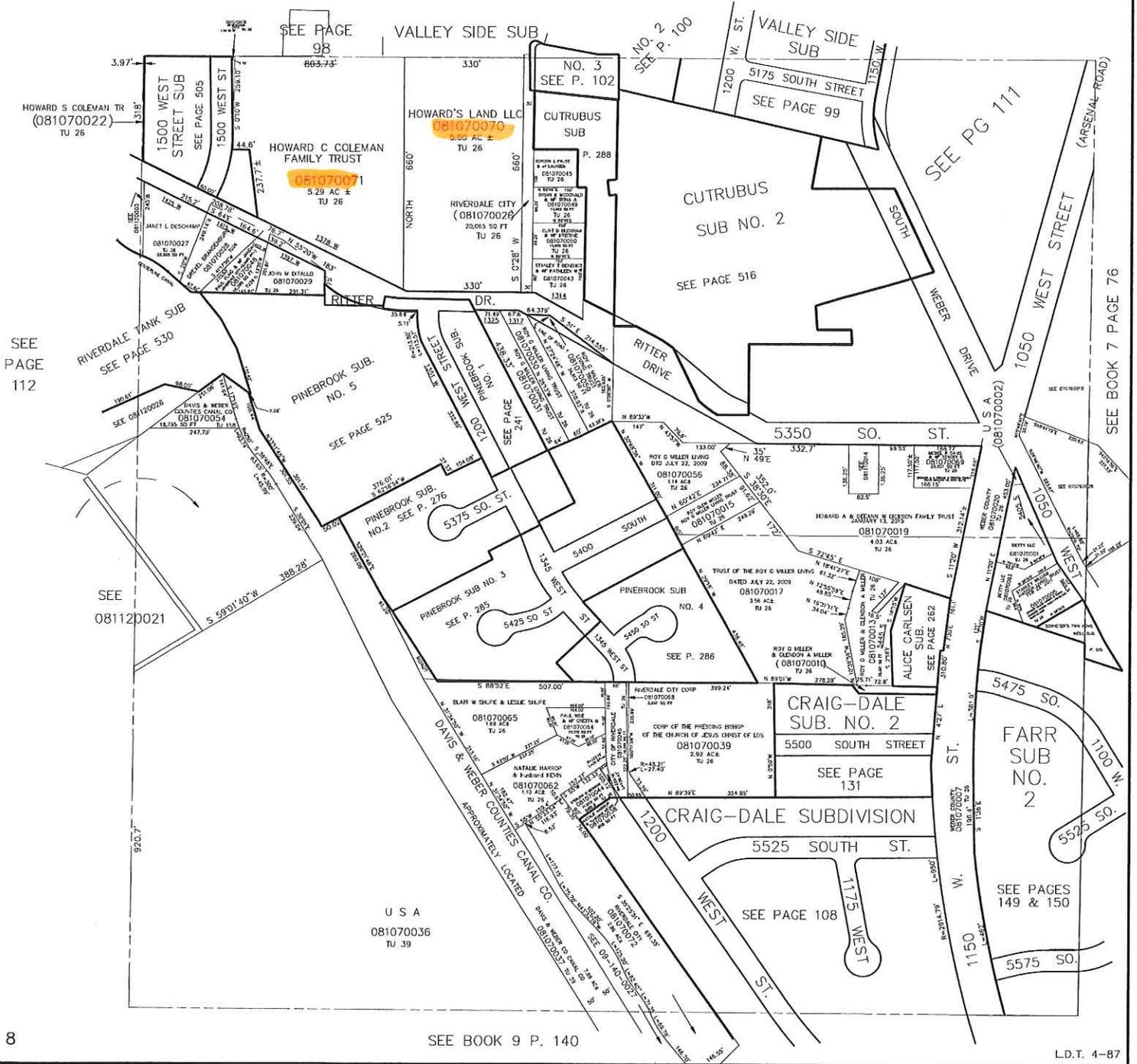
**D. How is the change in the public interest as well as the applicant desire?**

City staff and numerous real estate brokers in the area have indicated that there is a critical need for housing in Riverdale but there are no available homes or building lots. Our research has also confirmed this to be the case. Riverdale is in need of new family homes. We believe the solution can be achieved by having a mix of home and lot sizes to meet the varying needs. A place for all to be proud of.

S.E. 1/4  
SECTION 13, T.5N., R.2W., S.L.B. & M.

TAXING UNIT: 26, 39, 158

IN RIVERDALE CITY  
SCALE 1"=200'



## Legal Descriptions

Parcel 1: 5 Acres

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN, U S SURVEY; BEGINNING AT A POINT 730.00 FEET EAST FROM THE NORTHWEST CORNER OF SAID QUARTER SECTION; RUNNING THENCE EAST 330.00 FEET; THENCE SOUTH 660.00 FEET; THENCE WEST 330.00 FEET; THENCE NORTH 660.00 FEET TO THE POINT OF BEGINNING. CONTAINS 5.00 ACRES.

Parcel 2: 5.29 Acres

PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE MERIDIAN U S SURVEY: BEGINNING 256.27 FEET EAST FROM THE NORTHWEST CORNER OF SAID QUARTER SECTION; RUNNING THENCE EAST 803.73 FEET; THENCE SOUTH 660 FEET; THENCE WEST TO A POINT SOUTH 318 FEET AND SOUTH 64 D EAST 435 FEET AND SOUTH 55 D 20' EAST 183 FEET AND SOUTH 75 FEET FROM SAID NORTHWEST CORNER; THENCE NORTH 75 FEET, THENCE NORTH 55 D 20' WEST 183 FEET; THENCE NORTH 64 D WEST 76.7 FEET; THENCE NORTHWESTERLY 237.7 FEET, MORE OR LESS, TO A POINT 259.1 FEET SOUTH 0 D 10' WEST AND 44 FEET EAST FROM THE POINT OF BEGINNING, THENCE WEST 44 FEET; THENCE NORTH 0 D 16' EAST 259.1 FEET TO BEGINNING. EXCEPT: A PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN, U S SURVEY: BEGINNING AT A POINT 730.00 FEET EAST FROM THE NORTHWEST CORNER OF SAID QUARTER SECTION; RUNNING THENCE EAST 330.00 FEET; THENCE SOUTH 660.0 FEET; THENCE WEST 330.00 FEET; THENCE NORTH 660.00 FEET TO THE POINT OF BEGINNING. CONTAINS 5.00 ACRES (E# 2306617) [NOTE: BECAUSE THE DESCRIPTION OF RECORD DID NOT CONTAIN AN AREA FOR THIS PARCEL THE AREA FOR THIS PARCEL WAS CALCULATED BY THIS OFFICE FOR TAX PURPOSES.]

RIVERDALE CITY CORPORATION  
4600 SOUTH WEBER RIVER DRIVE  
RIVERDALE UT 84405

394-5541

Receipt No: 15.505805

Oct 11, 2016

VESTA DEVELOPMENT AND CONSTRUCTION

Previous Balance:	.00
MISCELLANEOUS - REZONE REQUEST APPLICATION	250.00
10-36-9000 SUNDRY REVENUE	

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Total:	250.00
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CHECK	Check No: 2037	250.00
Total Applied:		250.00

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Change Tendered:	.00
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10/11/2016 04:36PM

**1378 West Ritter Drive – Checklist Regarding Public Hearing Notice for  
Land Use Amendment/Re-zone/General Plan Amendment**

- Notice Sent to Affected Entities (10 days before hearing date)
  - Documented List Verifying Date Sent
- Form Letter Sent to Affected Property Owner(s) Due to Rezone per 10-9a-205(4)(b) (10 days prior to hearing date)
- Notice in Newspaper of General Circulation (10 days prior to hearing date)
- Notice on City Website (10 days prior to hearing date)
- Sign Placed on Subject Property (10 days prior to hearing date)
  - Picture and Certification of Sign Placement Completed
- Notice Placed on State Public Meeting Notice Website (10 days prior to hearing date)

## **Affected Entities Notice Listing Information**

Affected entity notice was sent to the following groups on the dates listed below.

1. UDOT – Region One: sent on October 14, 2016
2. Weber School District: sent on October 14, 2016
3. Weber County Government: sent on October 14, 2016
4. Roy Water Conservancy District: sent on October 14, 2016
5. Weber Basin Water Conservancy District: sent on October 14, 2016
6. Comcast: sent on October 14, 2016
7. Century Link: sent on October 14, 2016
8. Rocky Mountain Power: sent on October 14, 2016
9. Questar Gas: sent on October 14, 2016



October 13<sup>th</sup>, 2016

**Howards Land LLC**  
5408 South Weber Drive  
Riverdale, Utah 84405

Dear Members of the Howards Land LLC group:

Below is a notice of public hearing for a proposed rezone request for properties located at approximately 1378 West Ritter Drive in Riverdale City. You are receiving this notice because your property may be directly affected by this rezone request.

**Notice of Public Hearing**  
Riverdale Planning Commission  
Tuesday, October 25, 2016  
Which begins at 6:30 p.m.

Riverdale Civic Center  
4600 South Weber River Drive  
Riverdale, Utah

The Riverdale Planning Commission will hold a public hearing to receive and consider public comment on a proposed rezone request for properties located at approximately 1378 West Ritter Drive in Riverdale City from Agricultural (A-1) zoning to Single-Family Residential (R-1-6) zoning. Further information regarding the proposal can be viewed at [www.riverdalecity.com](http://www.riverdalecity.com). Public comment is invited and interested parties are encouraged to attend.

You may review the current and proposed zoning on our city website ([www.riverdalecity.com](http://www.riverdalecity.com)) under the “City Code” tab. The A-1 zoning language is found under Title 10, Chapter 8, and the R-1-6 zoning language is found under Title 10, Chapter 9B.

As a potentially affected owner of property at the proposed rezone location, you may, no later than 10 days after the day of the first public hearing, file a written objection to your inclusion of property to this rezone request. Any formal protests should be submitted by mail to Riverdale Civic Center, 4600 So. Weber River Drive, Riverdale, UT 84405, or by email to [meggett@riverdalecity.com](mailto:meggett@riverdalecity.com). Any formal protests submitted to the City will be shared with the Planning Commission and City Council respectively throughout the process.

Please feel free to contact me with any follow-up questions, comments, or concerns that you may have regarding this matter via telephone at 801-394-5541 ext. 1215 or email at [meggett@riverdalecity.com](mailto:meggett@riverdalecity.com).

Thank you,

*Michael Eggett*

Riverdale City  
Community Development Director



October 13<sup>th</sup>, 2016

**Howard C. Coleman Family Trust**  
5368 South 1050 West  
Ogden, Utah 84405

Dear Members of the Howard C. Coleman Family Trust:

Below is a notice of public hearing for a proposed rezone request for properties located at approximately 1378 West Ritter Drive in Riverdale City. You are receiving this notice because your property may be directly affected by this rezone request.

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You may review the current and proposed zoning on our city website ([www.riverdalecity.com](http://www.riverdalecity.com)) under the “City Code” tab. The A-1 zoning language is found under Title 10, Chapter 8, and the R-1-6 zoning language is found under Title 10, Chapter 9B.

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Thank you,

*Michael Eggett*

Riverdale City  
Community Development Director



**Riverdale**  
City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405  
801-394-5541

---

October 13<sup>th</sup>, 2016

**Riverdale City**

Attn: Rodger Worthen  
4600 So. Weber River Drive  
Riverdale, Utah 84405

Dear Riverdale City Administrator:

Below is a notice of public hearing for a proposed rezone request for properties located at approximately 1378 West Ritter Drive in Riverdale City. You are receiving this notice because your property may be directly affected by this rezone request.

**Notice of Public Hearing**  
Riverdale Planning Commission  
Tuesday, October 25, 2016  
Which begins at 6:30 p.m.

Riverdale Civic Center  
4600 South Weber River Drive  
Riverdale, Utah

The Riverdale Planning Commission will hold a public hearing to receive and consider public comment on a proposed rezone request for properties located at approximately 1378 West Ritter Drive in Riverdale City from Agricultural (A-1) zoning to Single-Family Residential (R-1-6) zoning. Further information regarding the proposal can be viewed at [www.riverdalecity.com](http://www.riverdalecity.com). Public comment is invited and interested parties are encouraged to attend.

You may review the current and proposed zoning on our city website ([www.riverdalecity.com](http://www.riverdalecity.com)) under the “City Code” tab. The A-1 zoning language is found under Title 10, Chapter 8, and the R-1-6 zoning language is found under Title 10, Chapter 9B.

As a potentially affected owner of property at the proposed rezone location, you may, no later than 10 days after the day of the first public hearing, file a written objection to your inclusion of property to this rezone request. Any formal protests should be submitted by mail to Riverdale Civic Center, 4600 So. Weber River Drive, Riverdale, UT 84405, or by email to [meggett@riverdalecity.com](mailto:meggett@riverdalecity.com). Any formal protests submitted to the City will be shared with the Planning Commission and City Council respectively throughout the process.

Please feel free to contact me with any follow-up questions, comments, or concerns that you may have regarding this matter via telephone at 801-394-5541 ext. 1215 or email at [meggett@riverdalecity.com](mailto:meggett@riverdalecity.com).

Thank you,

*Michael Eggett*

Riverdale City  
Community Development Director



# **CERTIFICATION OF SIGN PLACEMENT**

This is to certify that on this 12<sup>th</sup> day of October, 2016, I supervised the placement of a sign on property located at approximately 1378 West Ritter Drive, Riverdale, Utah as a notice of a rezone request. I further certify that said sign was posted in compliance with all requirements of Riverdale Municipal Ordinance Code 10-5-3(A).

Dated this 12<sup>th</sup> day of October, 2016.

A handwritten signature in black ink that reads "Jeff Woody". The signature is written in a cursive style.

---

Jeff Woody, Community Development Department



**Riverdale**  
City

**NOTICE OF  
REZONE REQUEST**

FOR INFORMATION, CONTACT RIVERDALE CITY AT:

**801-394-5541 x 1215**



Riverdale  
City

**NOTICE OF  
REZONE REQUEST**

FOR INFORMATION, CONTACT RIVERDALE CITY AT:  
**801-394-5541 x 1215**

**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 25, 2016**

**AGENDA ITEM: E2**

**SUBJECT:** Consideration of Site Plan Amendment for Cutrubus Wasatch Front Kia located at approximately 770 West Riverdale Road, Riverdale, Utah 84405.

**PRESENTER:** Mike Eggett, Community Development

**ACTION REQUESTED:** Consideration of approval.

**INFORMATION:**

- a. Executive Summary
- b. Site Plan Review
- c. Department Reports
- d. Engineer Letter
- e. Application
- f. Interior Update Plan
- g. Wasatch Front Kia Guide
- h. Wasatch Front Kia Site Plan Amendment

**[BACK TO AGENDA](#)**



## Planning Commission Executive Summary

For the Commission meeting on: 10-25-2016

Petitioner: *H&P Investments, LLC.*  
*Represented by Dave Pierson and Kord Cutrubus*

### Summary of Proposed Action

H&P Investments, LLC, as represented by Dave Pierson and Kord Cutrubus, has applied for an Amended Site Plan review of the Wasatch Front Kia located at approximately 770 West Riverdale Road in a Regional Commercial (C-3) zone. This original site has been operating as the Cutrubus Cadillac car dealership and vehicle servicing location. The project is being proposed for building additions to the main building, a refresh/rebranding of the building as a Kia dealership, and the improvement of asphalt vehicle parking on the property. The property is currently owned by H&P Investments, LLC as well. A public hearing is not required to consider this Site Plan proposal. Following the presentation and discussion of the proposal, the Planning Commission may make a motion recommending to the City Council approval of the Wasatch Front Kia amended site plan proposal, recommending approval of the proposed amended site plan with any requested modifications/amendments, not recommending approval of the Wasatch Front Kia amended site plan, or tabling the matter to allow time for the applicant to resolve outstanding concerns. If a recommendation for approval was provided, then this matter could move forward to the City Council for consideration of approving the Amended Site Plan for Wasatch Front Kia.

### Title 10 Ordinance Guidelines (Code Reference)

This Amended Site Plan review is regulated under City Code 10-25 "Development in All Zones", and is affected by City Codes 10-10A "Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcel is located at approximately 770 West in the recent Cutrubus Cadillac dealership location on property currently owned by H&P Investments, LLC. The property is in a Regional Commercial C-3 zone and the desired use of this property, as a Kia automobile dealership and servicing facility, would allow this enhancement project to be developed on this site.

Attached with this executive summary is a document entitled "Amended Site Plan Review - Cutrubus Wasatch Front Kia"; this is a supplementary document addressing items of note or concern as identified on the Amended Site Plan application review. Also attached, following this executive summary, are comments from the Public Works Director, the Fire Chief, the Police Chief, the City Administrator, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

In addition to the Amended Site Plan documentation, there is an updated interior building design and layout, a packet of the amended site plan drawings (that were updated on October 20, 2016), and a Wasatch Front Kia Design Guide packet illustrating required updated styles and design elements for the updates to the Cutrubus Cadillac building and site area.

Signage for the site is regulated per City Code 10-16 (specifically section 8.(B.) for Commercial and Manufacturing Districts); the applicant should be directed to adhere to this Code when contemplating updated or new signage.

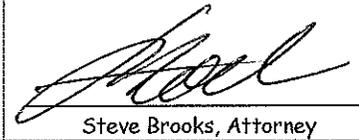
Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion recommending to the City Council approval of the Wasatch Front Kia amended site plan proposal, recommending approval of the proposed amended site plan with any requested modifications/amendments, not recommending approval of the Wasatch Front Kia amended site plan, or tabling the matter to allow time for the applicant to resolve outstanding concerns. If a recommendation for approval was provided, then this matter could move forward to the City Council for consideration of approving the Amended Site Plan for the Riverdale Assisted Living Center.

**General Plan Guidance (Section Reference)**

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

**Legal Comments - City Attorney**

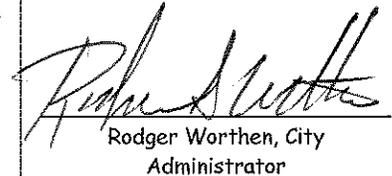
There's still quite of list of things that need to be completed, some of which are pretty important. I wouldn't give the impression that this is close until they get this cleaned up!!



Steve Brooks, Attorney

**Administrative Comments - City Administrator**

SEVERAL ITEMS NEED ATTENTION; RECOMMENDS COMPLETION.



Rodger Worthen, City Administrator



## Amended Site Plan Review – Cutrubus Wasatch Front Kia, 770 West Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 10/19-20/2016

**Recommendation:** City staff recommends that the Planning Commission examine and review this proposed amended site plan review. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to provide a recommendation for amended site plan approval or not provide a recommendation for amended site plan approval of the proposed Cutrubus Wasatch Front Kia site plan with any additional comments or concerns to be addressed by the developer. Should the Planning Commission provide a recommendation for amended site plan approval, the City Council could then consider final approval of the proposed amended site plan during an upcoming scheduled meeting.

Date Amended Plan Submitted to City: <small>(Must be at least two weeks prior to Planning Commission meeting)</small>	October 11, 2016; updated October 19-20, 2016
Date Application Submitted to City:	October 11, 2016
Date Fee Paid:	Paid on October 11, 2016 (see receipt for detail)
<b>Site Plan – Preliminary Requirements</b>	<b>Departmental Review Comments</b>
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address shown
Property Owner’s name, address, and phone number	H&P Investments, 892 W. Riverdale Road, Riverdale, Utah 84405, 801-337-2257
Developer’s name, address, and phone number	H&P Investments, 892 W. Riverdale Road, Riverdale, Utah 84405, 801-337-2257
Approving agency’s name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; <u>all other utility agencies affected are not identified in submittal (if applicable)</u>
Consulting Engineer’s name, address, and phone number	Galloway & Company, Inc, 515 South 700 East, Ste 3F, SLC, Utah 84102, 801-549-7563
Licensed Land Surveyor’s name, address, phone number, signature, and seal	Great Basin Engineering, Inc, 5746 South 1475 East, Ogden, Utah 84403, 801-394-4515 ext 8410; <b>seal and signature not shown</b>

Date	Yes – October 2016
Revision block with date and initials	Revision block shown with dates and initial fields
Sheet number and total sheets	Sheet Index shown; <u>total sheets not identified</u>
<u>General</u>	
Street names	Yes, shown
Layouts of lots with lot numbers	Only one lot in site plan development
Adjacent tract ownership and tax identification numbers	Adjacent tract names and tax ID shown
Scale (minimum 1"=50' to 1"=10')	Scale shown in packet
North arrow	Shown
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements identified if any exist, structures around site identified, existing utility lines shown on sheet C4.10; <u>unsure of approvals provided to cross, use, relocate</u>
Space for notes	Yes, provided
Contours	Yes, shown on sheets C2.10, C3.00, and L1.10
Public areas	Sidewalks and curb/gutter shown on sheets C1.00, C2.10, and C3.00; no other public areas identified
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Shown
Scale	Note of "Not to Scale"
<u>Layout</u>	
Landscaping (location and type with area calculations)	Yes, provided on sheets L1.10 and L1.90
Location of exterior lighting devices, signs, and outdoor advertising	<b>Location of existing on site lighting not shown,</b> location of existing street lights, signs, and outdoor advertising identified; <b>location of proposed new lighting not shown;</b> <u>location of any new signs/outdoor advertising not identified if applicable; may inquire more if desired</u>
Location of underground tanks, dumpsters, etc	No underground tanks shown for this site if exist; existing dumpster enclosure shown;
<i>PLAN AND PROFILE SHEETS</i>	Site Plan and supporting sheets provided

<u>Title Block</u>	
Project name and address	Project name and address shown
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Galloway & Company, Inc, 515 South 700 East, Ste 3F, SLC, Utah 84102, 801-549-7563
Date	October 11, 2016; updated October 19-20, 2016
Scale	Scale shown in packet
Revision block with date and initials	Revision block shown with dates and initial fields
Sheet number and total sheets	Sheet Index shown; <u>total sheets not identified</u>
<u>General</u>	
North arrow	Shown
Street names	Yes, shown
Lot numbers	Only one lot in site plan development
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C2.10 and ALTA Survey sheet
<u>Signage</u>	Onsite sign location not shown, but to be updated; Building signage to be updated; <u>may inquire regarding future signage intent</u>
Height	<i>See Wasatch Front Kia Design Guide for more</i>
Size	<i>See Wasatch Front Kia Design Guide for more</i>
Locations	<i>Not identified, but likely same location as current</i>
Colors	<i>See Wasatch Front Kia Design Guide for more</i>
Lighting	<i>Not known at this time if different from current</i>
<u>New and Existing Buildings</u>	
Height and Size	New building - Height = <u>unknown at this time</u> ; Building size with new additions = approx. 20,905 sq. ft.; Existing buildings shown in packet; <u>may inquire for more details about the structure and proposed additions</u>

Location, setbacks, and all dimensions	<b>Setback distances unknown at this time for building:</b> front setback – ? feet at nearest point; rear setback – ? feet at nearest point; west side setback – ? feet at nearest point; east side setback – ? feet at nearest point;
Type of construction	<u>Similar to existing building materials for proposed additions; see Wasatch Front Kia Design Guide</u>
Type of occupancy and proposed uses	Retail Automobile Sales and Commercial Operation; Vehicle servicing and repairs
Show handicapped access	<b>ADA accessible ramp not shown;</b> access areas and handicapped parking stalls shown
<u>New and Existing Landscaping &amp; Percentage</u>	Percentage of landscaping for site plan is 20.1%; barely above base requirement standard
Number of trees	25 new and existing trees (fulfills req.), 142 new shrubs and grasses shown
Landscape plan showing all planting, hardscaping, berming, and watering	Shown on L1.10 and L1.90; irrigation plan identified on sheet L1.90
Xeriscaping alternatives being considered	Yes, some xeriscaping seems to be applied in the rock mulch areas; for more, inquire of developer
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Existing fence noted in packet; <u>no new fences appear to be planned for site</u>
Materials proposed for construction	<u>No new fences appear to be planned for site</u>
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	90 existing dedicated stalls are provided and shown; handicapped parking space identified; per code adequate parking for use (70 stalls required)
Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; handicapped parking, employee parking and customer parking identified
Internal circulation pattern	Internal circulation pattern not identified; <u>inquire more if desired</u>
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown; detail on sheets 7-8
Circulation pattern	Yes, shown for Fire Truck access and movement; other internal circulation pattern not identified; <u>inquire more if desired</u>
<u>New and Existing Streets</u>	
All access points	Yes, this is shown; <u>detail not shown if applicable</u>
Center lines	Yes, this is shown

Right-of-way lines	Pedestrian ways shown, UDOT r-o-w identified
Face of curb lines	Yes, this is shown
Centerline slope	Established per previous road development of Riverdale Road
Signing and striping	<u>Signing installation should be coordinated with public works dept and paid for by applicant where applicable</u> ; striping not applicable
Light poles	<b>Site of proposed lighting, if planned, not shown;</b> building lighting unknown, inquire if desired;
Street lights	Site of existing street lights identified; no new street lights planned
Street name signs	Not applicable
Stop signs	<u>Signing installation, if any, should be coordinated with public works dept and paid for by applicant</u> ;
UDOT approval (if required for project)	Not applicable to this project
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Already established along right-of-way of site; <u>any damage to sidewalk to be replaced to City standards</u>
Planting Strip	Interior planting strip identified on drawings, no exterior planting strip
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown; detail on sheet C2.90
Slope of gutter	Shown; detail on sheet C2.90
Manholes	<u>Not identified, if applicable on site</u>
Invert elevations	Shown in packet, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	<u>Some information shown on sheet C4.10, not clearly identified, defer to City Engineer</u>
Location of catch basins	Shown on sheet C4.10
Ditches, location and ownership	No ditches or waterways of note
Approval to pipe, reroute or use	Other than future City approval, unknown if other approval required; <u>defer to City Engineer</u>
Calculations for retention system	Storm runoff and retention calculations shown on sheet C2.10; <u>defer to City Engineer</u>
Method of storm water clean-up	Shown on sheets C3.00-C3.92
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown adjacent to site
Invert elevations	Shown in packet, <u>defer to City Engineer</u>

Length, size, type, and slope of mains and laterals	<u>Some information shown on sheet C4.10, not clearly identified, defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Existing water lines shown, <u>see sheet L1.10 regarding new water line location and notes for irrigation, defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	<u>Existing water meter location not shown, type per public works; Location of new and existing valves not shown</u> ; Existing fire hydrants shown, no new hydrant proposed;
<u>New and Existing Gas Lines</u>	
Size and type	Existing gas lines shown, no new gas lines planned, <u>size and type not shown</u>
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing and new power box locations shown; existing and new power lines locations shown, <u>size and type not shown</u> ;
Location of power poles	<u>Existing power poles location not shown, if applicable</u>
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone boxes shown; existing and new telephone utility lines shown, <u>poles and associated manholes not shown if applicable on site</u>
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Existing and new location shown
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Cross section of proposed new asphalt shown on sheet C2.90
Cross section of curb and gutter (standard 30" high back)	Shown on sheet C2.90, <u>not shown at 30" high back; defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	<u>Detail not shown, locations identified on sheet C4.10; no grates on site and thus no need bicycle safe grate; defer to City Engineer</u>
Cleanout box	Locations shown on sheet C4.10, <u>detail not shown; defer to City Engineer</u>
Thrust blocking	<u>Not identified or shown in plans; defer to City Engineer</u>
Special energy dissipating or drop manholes	May not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	

Soils report	An updated geotechnical report and percolation data letter have been provided on 10/20/2016
Drainage and runoff calculations	Storm runoff and retention calculations shown on sheet C2.10; <u>defer to City Engineer</u>
Water right transfer documentation	Review with Public Works if needed
Copy of protective covenants, codes, and regulations for development	None provided or anticipated with this project;
Three large full set of plan drawings (24x36), three full set of plan drawings (11x17 sized), and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Provided in Wasatch Front Kia Design Guide
Corp of Engineers approval (if required)	Not applicable or required
Zoning compliance	Yes, Regional Commercial (C-3) meets intended uses for site design;
RDA compliance (if applicable)	Not applicable in this matter
Use compliance	Yes, Regional Commercial (C-3) meets intended uses for site design;
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department, and City Administrator comments have been provided
Traffic study	No traffic study on file or requested for project
All Planning Commission and City Staff conditions for approval have been met	<u>Currently Amended Site Plan Submission being reviewed by Planning Commission</u>

DEPARTMENTAL STAFF REPORTS – 10/17/2016, 10/19/2016, and  
10/20/2016

**From:** Shawn Douglas  
**Sent:** Thursday 10/20/2016 10:18 AM  
**To:** Mike Eggett  
**Subject:** Cutrubus Kia

Mike,

The following is my review list for Cutrubus Kia.

- 1-Plans need to include all existing utilities.
- 2-Provide information for meeting onsite storm water retention requirements for entire site.
- 3-Provide Storm Water cleanup/treatment BMPS.
- 4-Provide Storm Water post construction BMPS and Operation Plan.
- 5-Provide Storm Water calculations based on 100 year event.
- 6-Provide detail for storm water orifice box and plate.
- 7-Provide geo technical report with percolation rates.
- 8-Provide detail for sewer line lateral connection and mainline tap.
- 9-Provide irrigation and backflow connection location and details.
- 10-Provide detail for storm water orifice box and plate.

**Shawn Douglas**

Public Works Director  
801/394/5541 ext.1217  
[Sdouglas@Riverdalecity.com](mailto:Sdouglas@Riverdalecity.com)

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**From:** Scott Brenkman (Police Chief)  
**Sent:** Monday 10/17/2016 8:56 AM  
**To:** Mike Eggett  
**Subject:** RE: Wasatch Front Kia Site Plan Amendment request – Planning Commission agenda recommendation action

I do not have any concerns or comments.

Chief Scott Brenkman  
Riverdale Police Department  
4580 S. Weber River Dr.  
Riverdale, UT 84405  
(801)394-6616  
[sbrenkman@riverdalecity.com](mailto:sbrenkman@riverdalecity.com)

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**From:** Jared Sholly  
**Sent:** Wednesday 10/19/2016 10:02 PM  
**To:** Mike Eggett  
**Subject:** RE: Cutrubus Kia – Updated Utility Sheet and ALTA Survey

Thank you for getting this. I have no further concerns.

Have a great weekend,  
Jared

---

**From:** Rodger Worthen  
**Sent:** Thursday 10/20/2016 9:36 AM  
**To:** Mike Eggett  
**Subject:** RE: Wasatch Front Kia Site Plan Amendment request - Planning Commission agenda recommendation action

Mike -

I have reviewed the submitted plans from Wasatch Front KIA. The only question is the Northeast corner of the landscape plan should address somewhat of a “no-mans” land area (4450 South angles northeasterly) in that corner as for ownership and possible inclusion into the landscaping and future maintenance effort of the business. I support the plan put forth and look forward to their expansion in the coming year!

Thank you  
Rodger W.

20 October 2016

Riverdale City  
4600 South Weber River Drive  
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director  
Proj: **H & P Investments – Riverdale Town Square – Cutrubus KIA**  
Subj: Site Plan Improvement Drawings

Dear Mike,

Attached for consideration is my engineering review of the above referenced project. The submitted Plans are somewhat preliminary and a lot of additional design is needed for review.

The following items (minimum submittal) will need to be considered and addressed prior to receiving recommended approval from our office.

***Please request the Developer or his Engineer, submit a response letter with their re-submittal of drawings answering all Engineering Review Comments contained herein.***

**General Note:**

1. An **electronic copy** of the Site Plan drawings and details must be submitted to the Public Work Department via our office for record keeping upon design completion and prior to approval of the Site Plan drawings from our office.

**Site Plan – Improvement Drawings**

1. Notes need to be placed on the Site Plan improvement drawings indicating all deteriorated, damaged or missing surface improvements surrounding the perimeter of the development and on-site be replaced or installed; i.e., curb and gutter, sidewalk, landscaping park strip improvements, asphalt patching, landscaping replacement, concrete improvement, etc.
2. A Geotechnical Report will need to be submitted for review. The geotechnical report must also consider percolation of the soil for the retention basins.
3. The site Storm Water calculations have been prepared using a 10-year storm water event. The storm water calculations must be based upon the current Riverdale City standards of a 24-hour, 100-year

event. Therefore, future submitted drawings will need to be reviewed by our office and Public Works for compliance with the new State of Utah storm water requirements.

The following items will need to be incorporated into the site's storm water design:

- The submitted storm water plans and drawings indicate that there will be several drainage areas – some with discharge and others with on-site detention. The drainage areas need to be delineated on the drawings and the calculations for each drainage area submitted.
  - A 12" freeboard berm needs to be shown on all basins.
  - An over flow spillway needs to be incorporated into the design.
  - A storm water outlet/orifice structure(s) needs to be shown in detail. The orifice structures need to be designed in order for the orifice to be cleaned without a person having to reach under water in the basin or structure to unplug debris from the orifice.
  - The roof rain gutters should be tied into the underground storm water collection system. The piping drainage slopes shown for the roof drains, are too flat for the pipe sizes shown. The piping materials to be used with the roof drains need to be shown on the drawings along with inverts and construction details.
  - Storm water grates should be placed on all inlets & outlets into the retention basins to keep animals out of the storm water collection system.
  - All the storm water grates will need to be bicycle safe grates.
  - A storm water treatment manhole is needed and a note needs to be placed on the drawings indicating the capacity of the storm water treatment manhole vs. the discharge capacity from the site.
  - The Developer's Engineer will be required to survey the constructed storm water retention basins and verify the storm water storage is provided upon completion of the project.
4. A dumpster(s) with wall enclosure needs to be shown on the site drawings.
  5. The drawings need to indicate all utilities, i.e., culinary water, sanitary sewer, irrigation water etc.
    - The drawings need to call out pipe materials, slopes, invert elevations, etc.
    - The location of the irrigation connections and backflow device (RP) will need to be shown on the drawings.
  6. Any new water meters should be placed in the park strip and sized accordingly.
  7. The location of all site lighting and business signs should be shown on the drawings.

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

**CEC, Civil Engineering Consultants, PLLC.**



N. Scott Nelson, PE.  
*City Engineer*

Cc. Shawn Douglas, Public Works Director  
Jeff Woody, Building Official and Inspector



# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN AMENDMENT APPROVAL

CASE NO: 2016-08 DATE SUBMITTED: 10-11-16

APPLICANT'S NAME: DAVE PIERSON, GALLOWAY

BUSINESS ADDRESS: 515 S. 700 E. STE. 3-F SALT LAKE CITY, UT 84102

BUSINESS PHONE: 801-549-7563

ADDRESS OF SITE: 770 W. RIVERDALE RD.

APPLICANT'S INTEREST: APPLICANT/CONSULTING & REPRESENTING OWNER

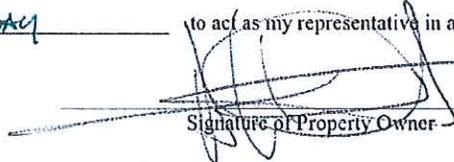
Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 6.17 AC of property in the C-3 zone in (sq. ft./acreage)

accordance with the attached site plan.

  
Signature of Applicant

  
Signature of Property Owner

I authorize DAVE PIERSON, GALLOWAY to act as my representative in all matters relating to this application.

  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per acre or portion of  
Fee: \$ 1226.00 Date paid: 10-11-16

Planning Commission set public hearing: Yes  No  Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for <sup>amended</sup> site plan approval on:

Date: 10-25-2016 Decision of Commission: \_\_\_\_\_

City Council set public hearing: Yes  No  Date of Public Hearing: \_\_\_\_\_

City Council scheduled to hear this application for <sup>amended</sup> site plan approval on:

Date: \_\_\_\_\_ Decision of Council: \_\_\_\_\_



Riverdale City  
 4600 South Weber River Drive  
 Riverdale, UT 84405  
 801-394-5541

XBP Confirmation Number: 22432915

▶ Transaction detail for payment to Riverdale City.		Date: 10/11/2016 - 5:00:27 PM	
Transaction Number: 58198255PT Visa — XXXX-XXXX-XXXX-2769 Status: <i>Successful</i>			
Account #	Item	Quantity	Item Amount
COMMERCIAL SITE PLAN	PlanDev Review	1	\$1226.00
Notes: COMMERCIAL SITE PLAN AMMENDMENT			

**TOTAL: \$1226.00**

**Billing Information**  
 DAVID PIERSON  
 , 80111

Transaction taken by: rboman



Preliminary Owner proposed Design

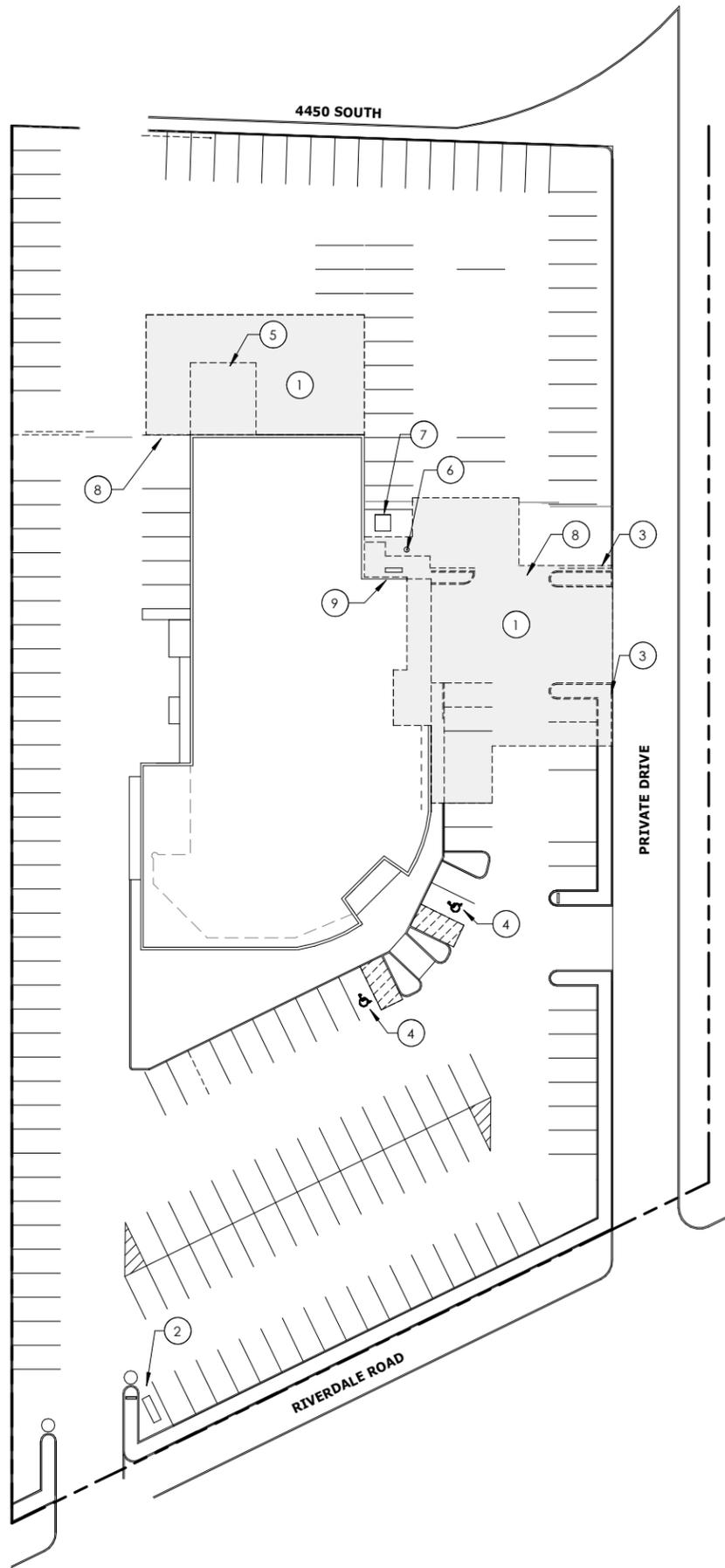
Wasatch Front Kia  
Ogden, UT

Dealer Code: UT005

August 2016

babcock design group





**SHEET NOTES**  
NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 REMOVE ASPHALT IN SHADED AREA. PREPARE EXISTING CONSTRUCTION FOR NEW CONSTRUCTION
- 2 EXISTING PYLON SIGNAGE
- 3 CONTRACTOR TO REMOVE EXISTING CURB
- 4 MOVE LOCATION OF HANDICAPPED PARKING STALL - SEE PROPOSED SITE PLAN FOR NEW LOCATION
- 5 REMOVE EXISTING CAR WASH INCLUDING FOUNDATION. CONTRACTOR TO CLEAN EXISTING WALL TO REMAIN
- 6 CONTRACTOR TO RELOCATE EXISTING SITE DRAIN TO THE EAST FOR NEW BREAKROOM
- 7 CONTRACTOR TO MAINTAIN EXISTING ELECTRICAL TRANSFORMER
- 8 REMOVE EXISTING FENCED GATE AS REQUIRED
- 9 GAS METER TO BE RELOCATED TO THE EAST

**DEMOLITION LEGEND**

-  DENOTES AREA OF DEMOLITION
-  EXISTING CONSTRUCTION TO REMAIN

1 | DEMOLITION SITE PLAN  
NOT TO SCALE



**NOT FOR CONSTRUCTION**

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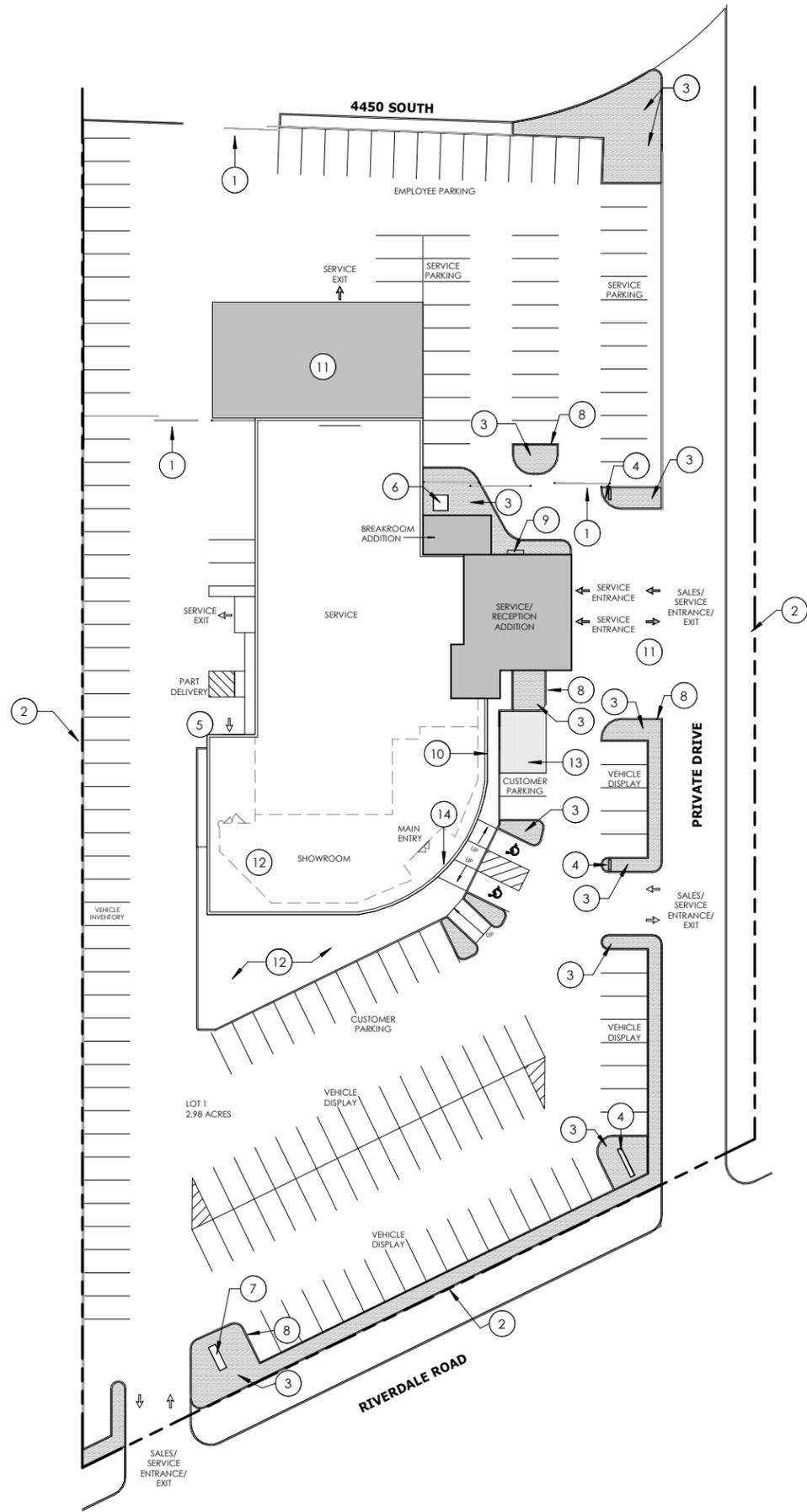
DEMOLITION SITE PLAN

32 Sycamore Place, Suite 401, Ogden, UT 84401  
800 West Main Street, Suite 940, Boise, Idaho 83702 | T: 208.424.7275 | www.bobcockdesign.com

sheet number:  
**AS102**

Example  
**WASATCH FRONT KIA**  
for  
**CUTRUBUS**  
OGDEN, UT

DATE:	TITLE:	DESCRIPTION:	DATE:
PROJECT NUMBER:	10018		
PROJECT NAME:	PRE-DESIGN		
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**GENERAL NOTES**

1. IDENTIFY SIGNAGE ON ALL PLANS TO BE EXCLUSIVELY BY PATISON SIGN GROUP.

**SHEET NOTES**

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 NEW FENCE/ GATE OPENING AS REQUIRED
- 2 PROPERTY LINE
- 3 SUGGESTED LANDSCAPE LOCATIONS
- 4 DIRECTIONAL SIGNAGE AND/OR PYLON SIGN
- 5 VEHICLE ACCESS TO SHOWROOM
- 6 EXISTING TRANSFORMER TO REMAIN
- 7 EXISTING PYLON SIGNAGE
- 8 NEW 6" HIGH CONCRETE CURB
- 9 GAS METER TO BE RELOCATED TO THE EAST
- 10 NEW HANDICAP ACCESS, RAMPS AND SIDEWALK
- 11 CONTRACTOR TO ADD COMPACTED SUB-BASE PREPARED FOR NEW ASPHALT PAVING
- 12 EXISTING RAISED CONCRETE SALES AREA TO REMAIN
- 13 STAMP COLORED CONCRETE PAD, NEW VEHICLE DELIVERY AREA
- 14 OPTION TO CARRY THE METAL PANEL SYSTEM THROUGH THE ENTRY CANOPY, UPON STRUCTURAL ENGINEERING APPROVAL

**LEGEND**

- NEW BUILDING CONSTRUCTION
- NEW LANDSCAPING
- STAMP COLORED CONCRETE PAD, NEW AREA DELIVERY

1 PROPOSED SITE PLAN  
NOT TO SCALE



**NOT FOR CONSTRUCTION**

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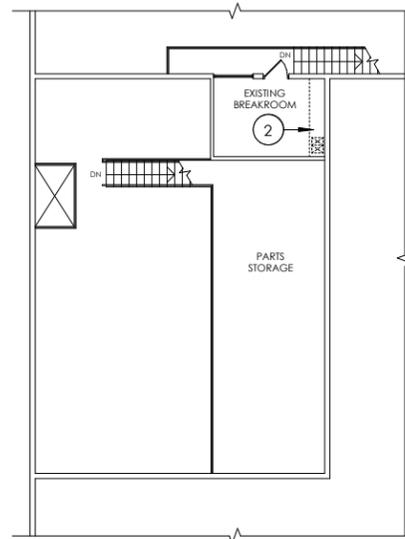
sheet title:  
**PROPOSED SITE PLAN**

32 SADDLEBROOK PLACE, SUITE 100, GLENDALE, UTAH 84031  
800 WEST MAIN STREET, SUITE 940, BOISE, IDAHO 83702

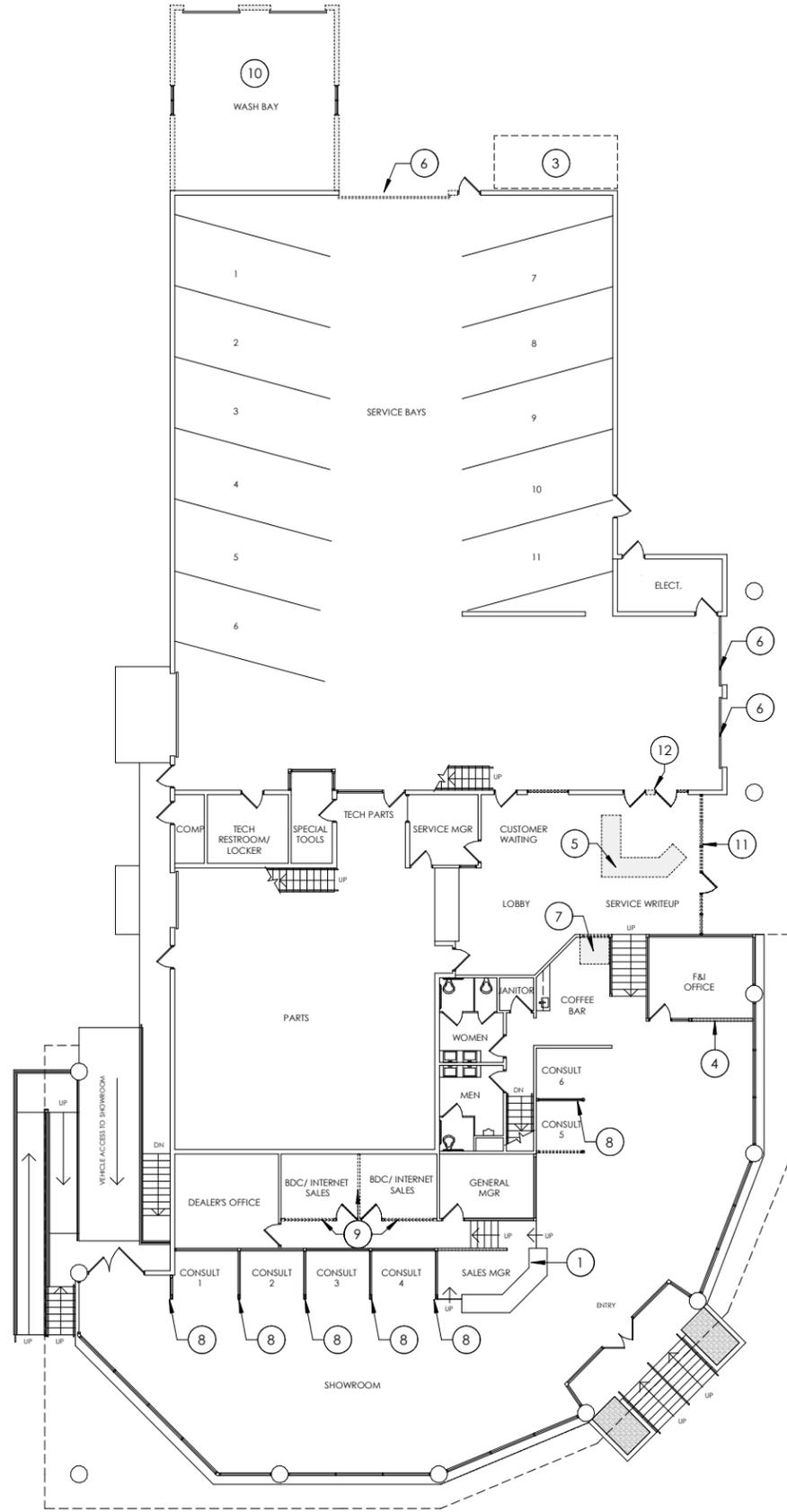
sheet number:  
**AS103**

Example  
**WASATCH FRONT KIA**  
for  
**CUTRIBUS**  
OGDEN, UT

DATE:	TITLE:	SCALE:	DATE:
PROJECT NUMBER:	PROJECT NAME:	PROJECT NUMBER:	PROJECT NAME:
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2 | MEZZANINE - DEMOLITION FLOOR PLAN  
NOT TO SCALE



**GENERAL NOTES**

1. LIGHT FIXTURES TO REMAIN. NO CHANGES.

**SHEET NOTES**

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 SALES MGR DESK TO REMAIN AS IT IS INCLUDING: COUNTERTOP, MILLWORK, LAMINATE, AND STEP (REVISIT LAMINATE WHEN RECEPTION DESK IS INSTALLED FOR OVERALL LOOK AND CONTINUITY), APPROVED THROUGH KIA
- 2 REMOVE EXISTING MILLWORK AND ALL EXISTING PLUMBING. PREPARE ROOM TO BE USED AS SECURE ACCOUNTING RECORDS STORAGE.
- 3 EXISTING OIL STORAGE AREA TO UNDERGO CLEAN-UP
- 4 REMOVE EXISTING STUD WALL
- 5 REMOVE EXISTING MILLWORK AND ELECTRICAL SERVICES
- 6 REMOVE EXISTING OVERHEAD DOORS, OPENER AND ELECTRICAL SERVICE TO BE REMOVED
- 7 OPTIONAL EXISTING WALL AND FLOOR TO BE REMOVED IN SHADED AREA FOR HANDICAPPED CHAIN LIFT, UPON ENGINEERING APPROVAL
- 8 SALES CONSULTATION OFFICE WINDOWS AND FRAMES TO REMAIN. REMOVE GRAPHICS ON WINDOWS AND LIGHT OAK TRIM UNDER WINDOWS. RE-FINISH LIGHT OAK TRIM TO MATCH WINDOW FRAMES OR REMOVE EXISTING WOOD PANELS. PREPARE WALLS FOR PAINT
- 9 REMOVE EXISTING DOOR AND WALL WITH ANY ELECTRICAL SERVICE
- 10 DEMOLISH EXISTING CAR WASH BAY (ROOF, WALLS, FLOOR AND FOUNDATION)
- 11 REMOVE EXISTING STOREFRONT
- 12 REMOVE DOORS AND SIDE LIGHT. REPLACE WITH WINDOW TO MATCH EXISTING WINDOW TO THE WEST

**DEMOLITION LEGEND**

- DENOTES AREA OF DEMOLITION
- EXISTING CONSTRUCTION TO REMAIN

1 | LEVEL 1 - DEMOLITION FLOOR PLAN  
NOT TO SCALE



**NOT FOR CONSTRUCTION**

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LEVEL 1 DEMOLITION FLOOR PLAN

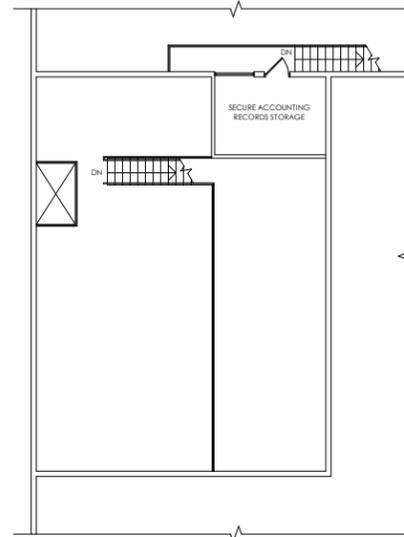
sheet number:  
**A113**

WASATCH FRONT KIA  
CUTRUBUS  
OGDEN, UT

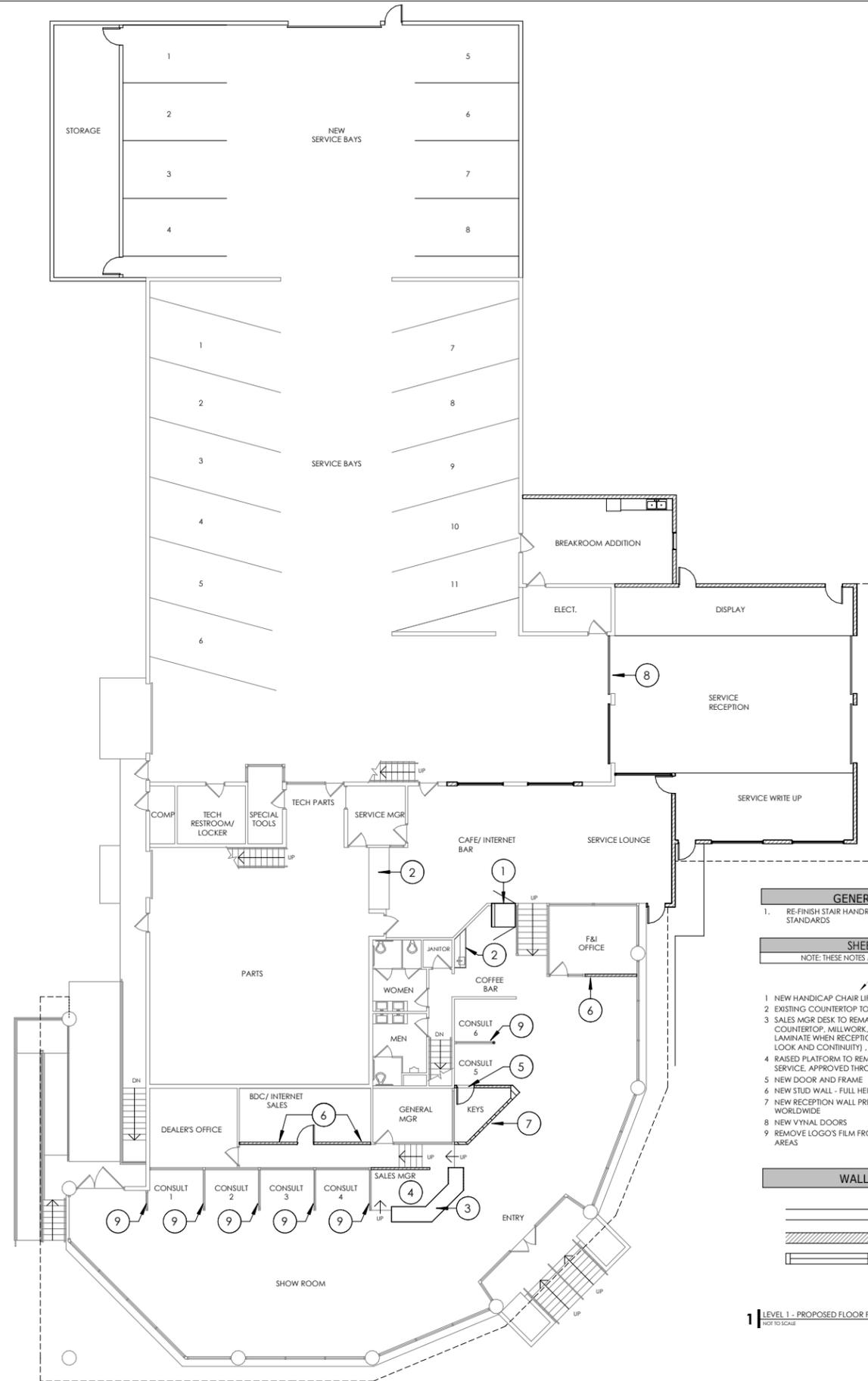
Example

DATE:	TITLE:	PROJECT NUMBER:	PROJECT NAME:
10/15/18	10018	10018	PRE-DESIGN

32 SADDLE RIDGE, SUITE 400, OGDEN, UT 84202  
800 WEST MAIN STREET, SUITE 940, BOISE, IDAHO 83702  
www.babcockdesign.com  
801.433.1344  
801.433.1344  
801.433.1344



2 | MEZZANINE- PROPOSED FLOOR PLAN  
NOT TO SCALE



1 | LEVEL 1 - PROPOSED FLOOR PLAN  
NOT TO SCALE

**GENERAL NOTES**

- 1. RE-FINISH STAIR HANDRAILS WITH P-1 OR P-2, PER KIA STANDARDS

**SHEET NOTES**

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 NEW HANDICAP CHAIR LIFT, UPON ENGINEERING APPROVAL
- 2 EXISTING COUNTERTOP TO REMAIN, APPROVED THROUGH KIA
- 3 SALES MGR DESK TO REMAIN AS IT IS INCLUDING: COUNTERTOP, MILLWORK, LAMINATE, AND STEP (REVISIT LAMINATE WHEN RECEPTION DESK IS INSTALLED FOR OVERALL LOOK AND CONTINUITY) , APPROVED THROUGH KIA
- 4 RAISED PLATFORM TO REMAIN WITH EXISTING ELECTRICAL SERVICE, APPROVED THROUGH KIA
- 5 NEW DOOR AND FRAME
- 6 NEW STUD WALL - FULL HEIGHT PAINT P-1 PER KIA STANDARDS
- 7 NEW RECEPTION WALL PREPARE FOR SLIM LINE WALL BY EWI WORLDWIDE
- 8 NEW VYNAL DOORS
- 9 REMOVE LOGO'S FILM FROM GLASS BETWEEN CONSULTANTS AREAS

**WALL LEGEND**



**NOT FOR CONSTRUCTION**

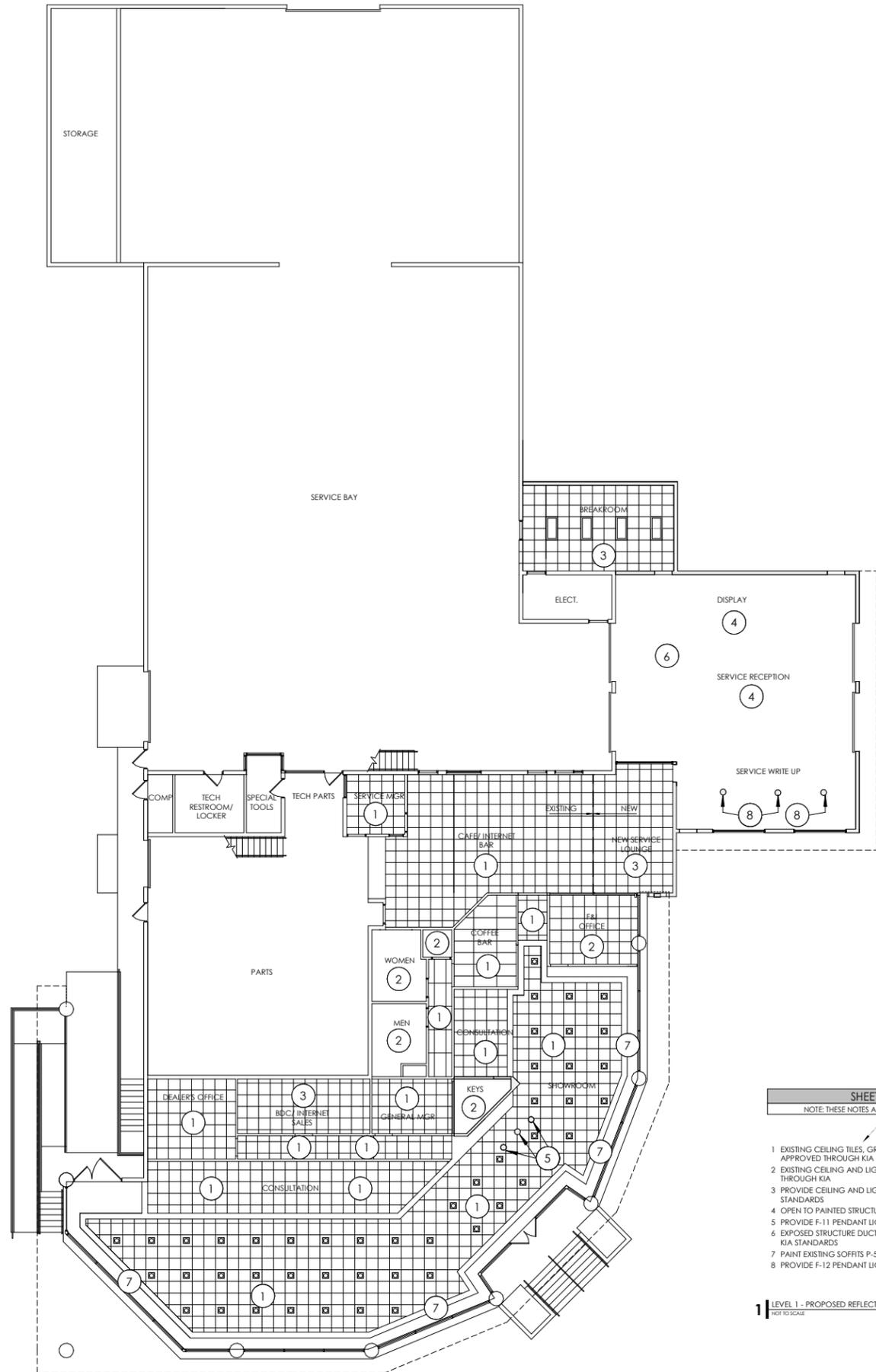
babcock design group

LEVEL 1 PROPOSED FLOOR PLAN

sheet number:  
**A114**

**WASATCH FRONT KIA**  
CUTRUBUS  
OGDEN, UT

DATE:	TITLE:	PROJECT NUMBER:	PROJECT NAME:
10/15/18	100158	PRE-DESIGN	WASATCH FRONT KIA
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**SHEET NOTES**  
NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 EXISTING CEILING TILES, GRID AND TILES TO REMAIN, APPROVED THROUGH KIA
- 2 EXISTING CEILING AND LIGHTS TO REMAIN APPROVED THROUGH KIA
- 3 PROVIDE CEILING AND LIGHTS TO MATCH EXISTING PER KIA STANDARDS
- 4 OPEN TO PAINTED STRUCTURE AND DUCTING ABOVE
- 5 PROVIDE F-11 PENDANT LIGHTS PER KIA STANDARDS
- 6 EXPOSED STRUCTURE DUCTS AND CONDUITS PAINTED PER KIA STANDARDS
- 7 PAINT EXISTING SOFFITS P-5 WHITE PER KIA STANDARDS
- 8 PROVIDE F-12 PENDANT LIGHTS PER KIA STANDARDS

CODE	MATERIAL
F-11	BONBONNE- PROVIDE SUSPENSION FOR 96" AFF MOUNTING
F-12	VIVO FR37507 BNI- BRUSHED NICKEL FINISH HINKLEY LIGHTING SUSPEND @ 90" AFF
P-5	BENJAMIN MOORE 2125-70 WEDDING EVIL



1 LEVEL 1 - PROPOSED REFLECTED CEILING PLAN  
NOT TO SCALE

**NOT FOR CONSTRUCTION**

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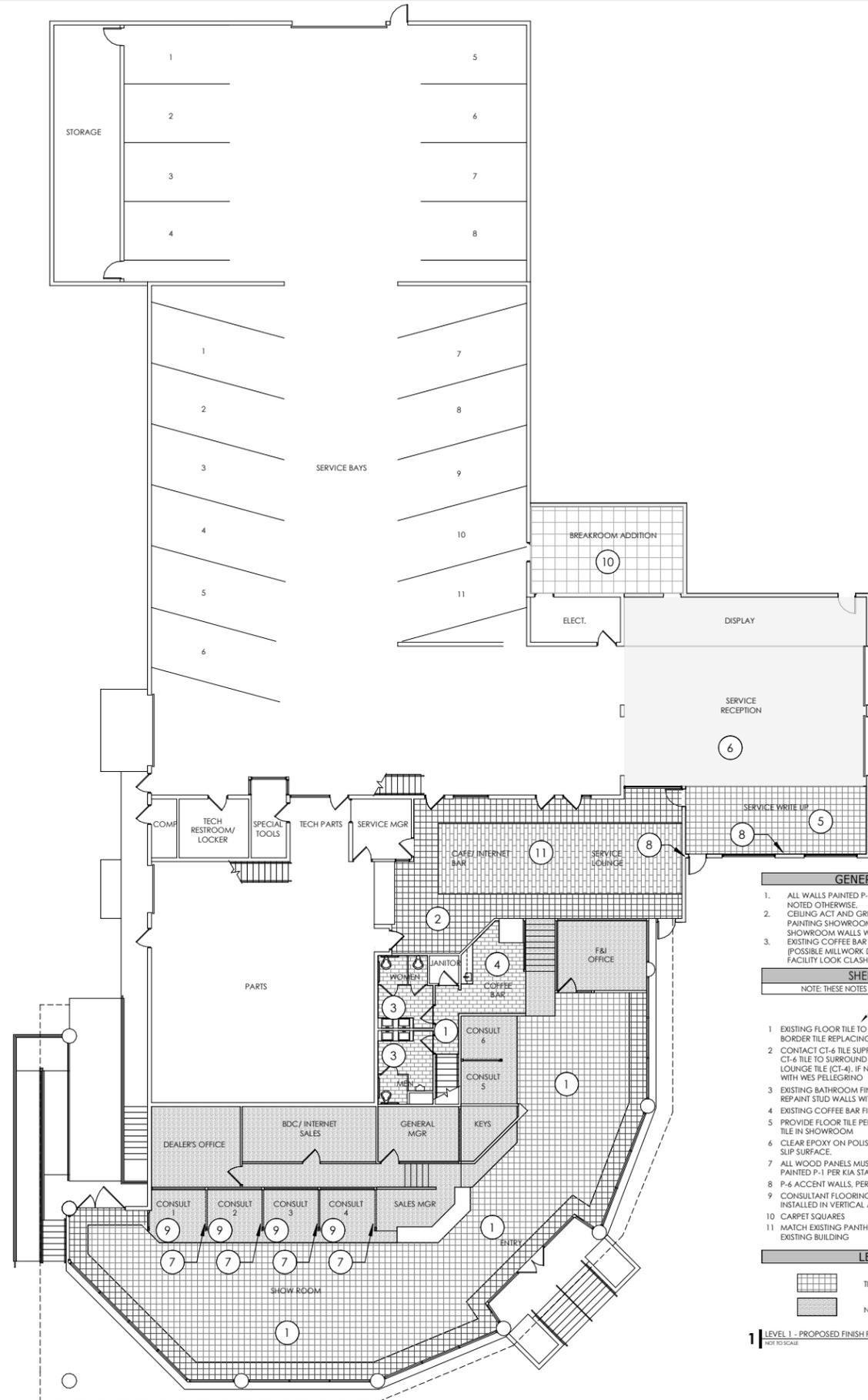
WASATCH FRONT KIA  
for  
CUTRUBUS  
OGDEN, UT

DATE:	TITLE:	PROJECT NUMBER:	PROJECT NAME:
10/15/18	10018	10018	PRE-DESIGN
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sheet title:  
**LEVEL 1 PROPOSED REFLECTED CEILING PLAN**

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800 WEST MAIN STREET, SUITE 940, BOISE, IDAHO 83702 TEL: 208-424-7275

sheet number:  
**A115**



**GENERAL NOTES**

1. ALL WALLS PAINTED P-1, PER KIA STANDARDS, UNLESS NOTED OTHERWISE.
2. CEILING ACCT AND GRID TO REMAIN WITH ADDITION OF PAINTING SHOWROOM SOFFITS WITH P-5 AND ALL OTHER SHOWROOM WALLS WITH P-1, PER KIA STANDARDS
3. EXISTING COFFEE BAR TO REMAIN AS IS. NO CHANGES. (POSSIBLE MILLWORK DOOR CHANGES IF OVERALL FACILITY LOOK CLASHES WITH DOOR STYLE)

**SHEET NOTES**

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 EXISTING FLOOR TILE TO REMAIN WITH ADDITION OF CT-3 BORDER TILE REPLACING CURRENT CARPETING.
- 2 CONTACT CT-4 TILE SUPPLIER FOR POSSIBILITY OF NON-GRIT CT-6 TILE TO SURROUND CAFE INTERNET BAR AND SERVICE LOUNGE TILE (CT-4). IF NOT AVAILABLE DISCUSS OPTIONS WITH WES PELLEGRINO
- 3 EXISTING BATHROOM FINISHES AND FIXTURES TO REMAIN. REPAIR STUCCO WALLS WITH P-1. PER KIA STANDARDS
- 4 EXISTING COFFEE BAR FINISHES AND FIXTURES TO REMAIN
- 5 PROVIDE FLOOR TILE PER KIA STANDARDS TO MATCH MAIN TILE IN SHOWROOM
- 6 CLEAR EPOXY ON POLISHED CONCRETE STAIN GREY. NON SLIP SURFACE.
- 7 ALL WOOD PANELS MUST BE REMOVED AND WOOD TRIM PAINTED P-1 PER KIA STANDARDS
- 8 P-4 ACCENT WALLS. PER KIA STANDARDS
- 9 CONSULTANT FLOORING TO BE CPT-1. PER KIA STANDARDS. INSTALLED IN VERTICAL ASHLAR PATTERN
- 10 CARPET SQUARES
- 11 MATCH EXISTING PANTHEON 100-CARVAO-5 TILE IN EXISTING BUILDING

**LEGEND**

- TILES
- NEW CARPET

1 LEVEL 1 - PROPOSED FINISH PLAN  
NOT TO SCALE



CODE	MATERIAL
P-4	GLIDDEN PROFESSIONAL #31YR 10/591 CRIMSON RED
P-1	BENJAMIN MOORE INTERIOR READY MIXED WHITE 01
P-5	BENJAMIN MOORE 2125-70 WEDDING EVIL
CT-3	CERAMIC TILE CHARCOAL NERO FINISH: POLISHED
CT-6	CERAMIC TILE LINE-BRIGHT-R-12/A+B+C FIELD: SMOKE GREY/ALLOY GREY LANE: CARBON BLACK
CT-4	CERAMIC TILE YC02 BRIDGE DECK
CPT-1	CARPET STYLE NUMBER: J2894 COLOR: H7052 WROUGHT IRON

**NOT FOR CONSTRUCTION**

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sheet title:  
**LEVEL 1 FINISH PLAN**

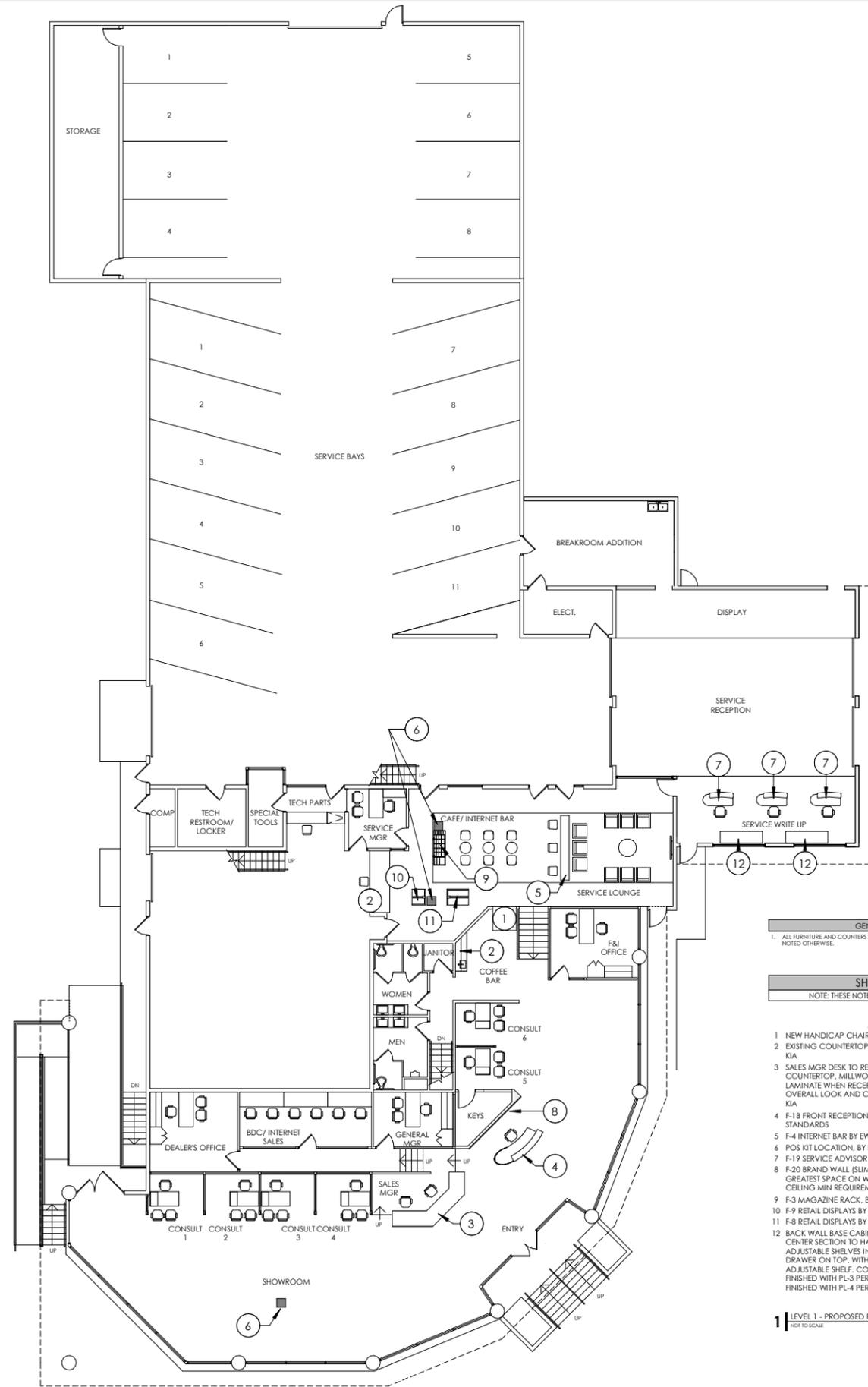
sheet number:  
**A116**

Example:  
**WASATCH FRONT KIA**  
for  
**CUTRUBUS**  
OGDEN, UT

DATE	DESCRIPTION
10/15/18 <td>PRE-DESIGN</td>	PRE-DESIGN

PROJECT NUMBER: 10018  
PROJECT NAME: WASATCH FRONT KIA  
DRAWN BY: BOB COCK  
CHECKED BY: BOB COCK  
DATE: 10/15/18

32 Sycamore Place, Salt Lake City, Utah, 84111, 801.433.1144  
800 West Main Street, Suite 940, Boise Idaho 83702, 1.208.424.7275  
www.bobcockdesign.com



**GENERAL NOTES**

1. ALL FURNITURE AND COUNTERS SHOWN TO BE PER KIA STANDARDS UNLESS NOTED OTHERWISE.

**SHEET NOTES**

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 NEW HANDICAP CHAIR LIFT, UPON ENGINEERING APPROVAL
- 2 EXISTING COUNTERTOP TO REMAIN, APPROVED THROUGH KIA
- 3 SALES MGR DESK TO REMAIN AS IT IS INCLUDING: COUNTERTOP, MILLWORK, LAMINATE, AND STEP (REVISIT LAMINATE WHEN RECEPTION DESK IS INSTALLED FOR OVERALL LOOK AND CONTINUITY) , APPROVED THROUGH KIA
- 4 F-18 FRONT RECEPTION DESK BY EWI WORLDWIDE, PER KIA STANDARDS
- 5 F-4 INTERNET BAR BY EWI, LOCATION PER KIA STANDARDS
- 6 POS KIT LOCATION, BY EWI
- 7 F-19 SERVICE ADVISOR DESK LOCATION, BY EWI WORLDWIDE
- 8 F-20 BRAND WALL (SLIM LINE), BY EWI WORLDWIDE, TO FILL GREATEST SPACE ON WALL IN FRONT OF KEY ROOM, 10'-0" CEILING MIN REQUIREMENT
- 9 F-3 MAGAZINE RACK, BY EWI WORLDWIDE
- 10 F-9 RETAIL DISPLAYS BY EWI WORLDWIDE
- 11 F-8 RETAIL DISPLAYS BY EWI WORLDWIDE
- 12 BACK WALL BASE CABINETS DIVIDED INTO 3 SECTIONS, CENTER SECTION TO HAVE TWO DOORS ONLY, WITH 3 ADJUSTABLE SHELVES INSIDE. EACH END SECTION TO HAVE 4" DRAWER ON TOP, WITH TWO DOORS BELOW AND ONE ADJUSTABLE SHELF. COUNTERTOP AND 4" BASE TO BE FINISHED WITH FL-3 PER KIA STANDARDS, CABINET FACE TO BE FINISHED WITH FL-4 PER KIA STANDARDS

1 LEVEL 1 - PROPOSED FURNITURE PLAN  
NOT TO SCALE



**NOT FOR CONSTRUCTION**

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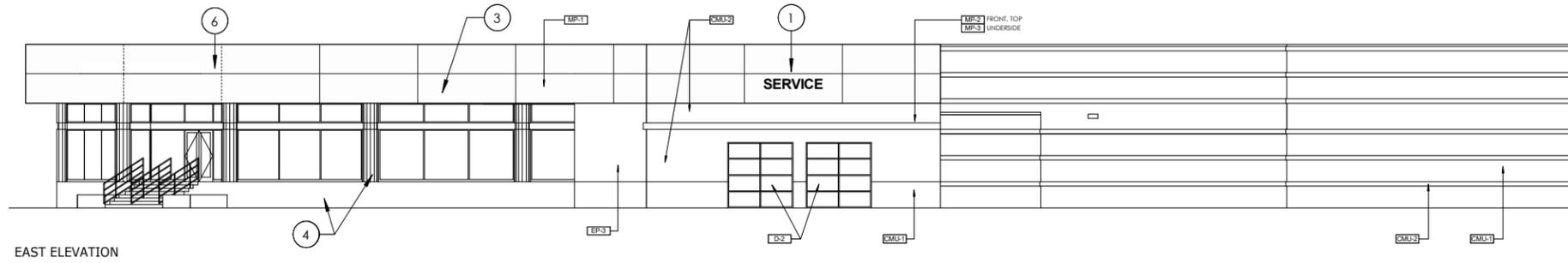
sheet title:  
**LEVEL 1 FURNITURE PLAN**

sheet number:  
**A117**

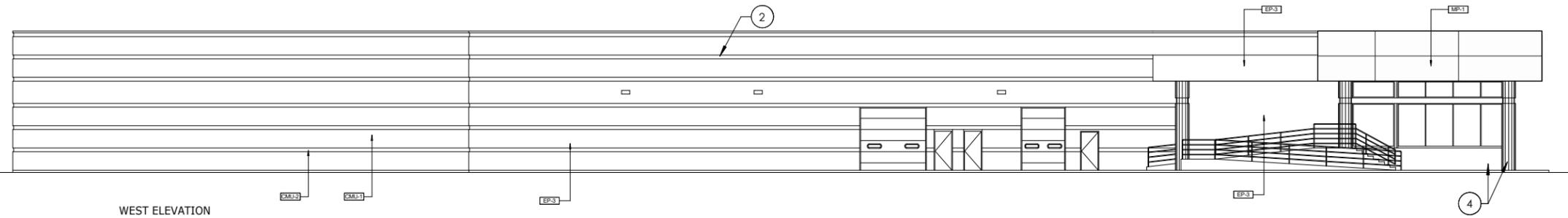
Example:  
**WASATCH FRONT KIA**  
for  
**CUTRUBUS**  
OGDEN, UT

date:	TBD	revision:	1
project number:	10058	description:	
project name:	PRE-DESIGN	drawn by:	
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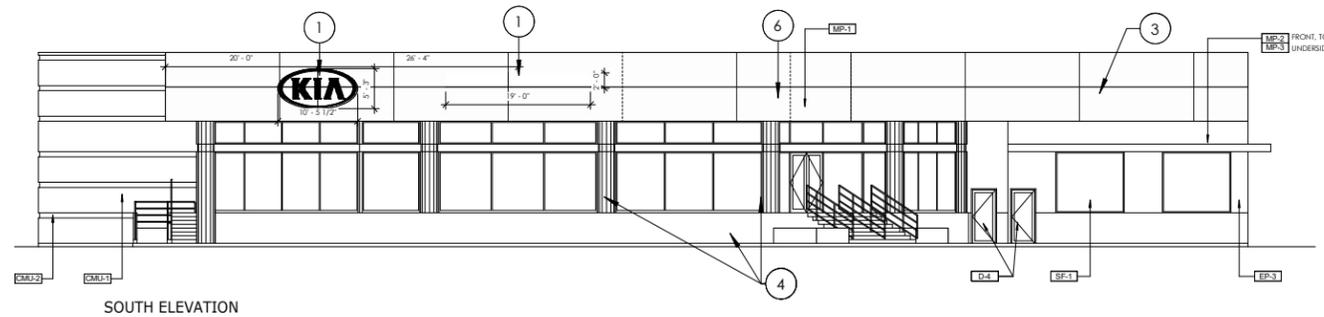
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800 West Main Street, Suite 940, Boise Idaho 83702 | P: 208.424.7275



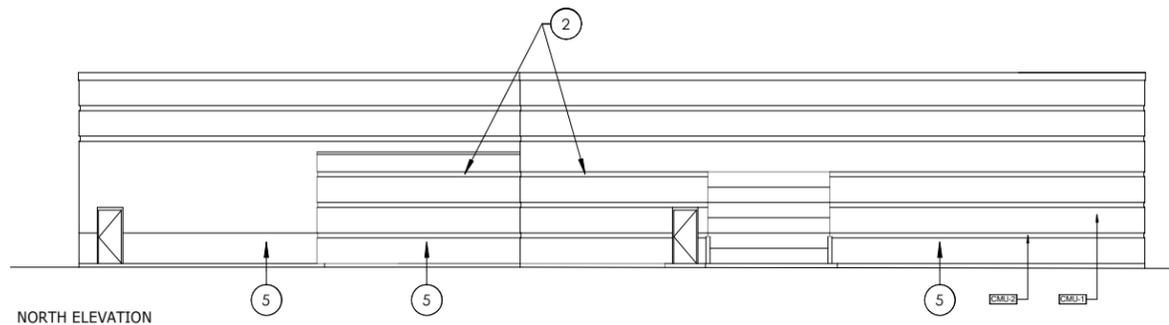
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

**GENERAL NOTES**

1. CONSIDER PAINTING THE WHOLE BUILDING EP-3

**SHEET NOTES**  
NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 SIGNAGE BY PATISON SIGN GROUP
- 2 POWER WASH CMU
- 3 METAL PANEL LAYOUT PER DID ELEVATIONS
- 4 NEW EPOXY PAINT LAYER APPLIED TO SURFACE OF EXISTING FINISH, TO MATCH EP-3 PER KIA STANDARDS
- 5 CMU - PAINT TO MATCH EXISTING WHITE PAINT
- 6 OPTION TO CARRY THE METAL PANEL SYSTEM THROUGH THE ENTRY CANOPY, UPON STRUCTURAL ENGINEERING APPROVAL

**EXISTING BUILDING ELEVATIONS**

CODE	MATERIAL
D-2	ROLLING OVERHEAD DOOR
D-4	NEW DOOR
EP-3	EXTERIOR PAINT
MP-1	METAL PANEL (ACM)
MP-2	METAL PANEL (ACM)
MP-3	METAL PANEL (ACM)
SF-1	STOREFRONT
CMU-1	SPLIT FACE CMU INTRICAL COLOR TO MATCH EP-3
CMU-2	SMOOTH FACE CMU INTRICAL COLOR TO MATCH EP-3
ACM	ALUMINUM COPOSITE MATERIAL

**NOT FOR CONSTRUCTION**

babcock design group

sheet title:  
**EXTERIOR ELEVATIONS**

sheet number:  
**A201**

Example  
**WASATCH FRONT KIA**  
for  
**CUTRUBUS**  
OGDEN, UT

32 babcock place, salt lake city, ut, 84111, tel: 801-433-1144, www.babcockdesign.com  
800 West Main Street, Suite 940, Boise Idaho, 83702 T: 208-424-7273

date:	10/15/18
project number:	100158
project name:	PRE-DESIGN
revision:	REVISED PER 10/15/18
description:	WASATCH FRONT KIA FOR CUTRUBUS
author:	BOB COCK
checked:	BOB COCK
approved:	BOB COCK



	<p><b>WASATCH FRONT KIA OGDEN, UT</b></p>	<p>PROJECT NO. <b>KIA0100.65RNE</b></p>	<p>CHECKED <b>MH</b></p>	<p>DATE <b>JULY '16</b></p>	<p>REVISED</p>	<p>SCALE</p>	<p><b>InterbrandDesignForum</b>  <small>ADDRESS: 7575 PARAGON ROAD, DAYTON, OH 45459    PHONE: 937-439-4400    EMAIL: ibdfautomotive@interbrand.com</small>  <small>These drawings are for communication of design intent only. These drawings are to specify size, shape, color, features and proportions, and are not to be used as fabrication drawings.</small></p>	<p>DRAWING TITLE <b>EXTERIOR RENDERING</b></p>	<p>DRAWING NO.</p>
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	<p><b>WASATCH FRONT KIA OGDEN, UT</b></p>	<p>PROJECT NO. <b>KIA0100.65RNE</b></p>	<p>CHECKED <b>MH</b></p>	<p>DATE <b>JULY '16</b></p>	<p>REVISED</p>	<p>SCALE</p>	<p><b>InterbrandDesignForum</b>  <small>ADDRESS: 7575 PARAGON ROAD, DAYTON, OH 45459    PHONE: 937-439-4400    EMAIL: ibdfautomotive@interbrand.com</small>  <small>These drawings are for communication of design intent only. These drawings are to specify size, shape, color, features and proportions, and are not to be used as fabrication drawings.</small></p>	<p>DRAWING TITLE <b>INTERIOR RENDERING</b></p>	<p>DRAWING NO.</p>
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# SITE AND BUILDING LIGHTING DESIGN CRITERIA

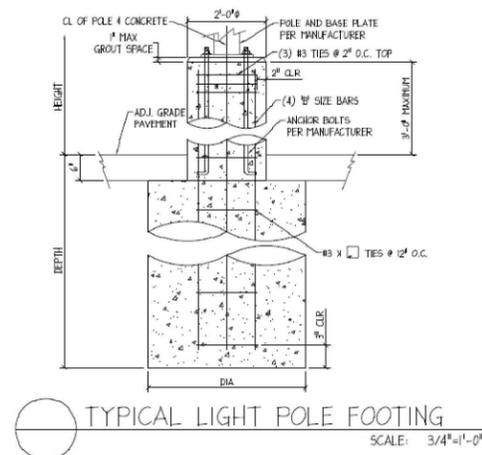
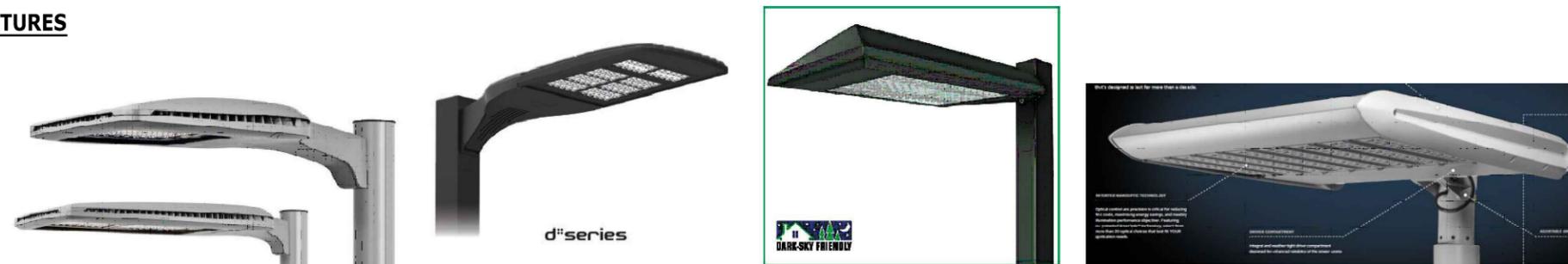
## SIDE AND BACK BUILDING FAÇADE

AVERAGE OF 10-15 FOOTCANDLES ON PEDESTRIAN PATHS AND VEHICLE DISPLAY AREAS WITH A MAX-TO-MIN RATIO OF 4:1 OR LESS  
 LIGHT POLES LOCATED IN GRASSY AREAS SHALL BE ON BASES FLUSH WITH GRADE AND BE A MINIMUM OF 3'-0" BACK FROM EDGE OF CURB. PROVIDE BASE WITH COVER PLATES.  
 LIGHT POLES LOCATED IN PEDESTRIAN AREAS IN FRONT OF BUILDING SHALL BE ON BASES FLUSH WITH PAVING. PROVIDE BASE WITH COVER PLATES.  
 LIGHT POLES LOCATED WITHIN SURFACE PARKING AREA SHALL BE ON ROUND SEALED CONCRETE BASES 3'-0" HIGH ABOVE SURFACE OF PARKING LOT. PROVIDE BASE WITH COVER PLATES.  
 LIGHT FIXTURES FOR SIGNAGE SHALL BE MOUNTED ON LIGHT POLES LOCATED WITHIN SIGNAGE AREAS.  
 LIGHT POLES AND BASES SHALL BE DESIGNED TO CARRY THE WEIGHT OF THE FIXTURES AND THEIR ACCESSORIES PLUS WITHSTAND THE TOTAL EPA WIND LOADING FOR THE AREA WITH A 1.3 GUST FACTOR MINIMUM.  
 POLE: 5" STRAIGHT STEEL SQUARE POLE 20' MAXIMUM HEIGHT (OR LOCAL CODE HEIGHT) MAX.

## EXAMPLES OF ACCEPTABLE SITE LIGHTING FIXTURES

LED SOURCES ONLY

- Lithonia D-series
- LSI
- GE Lighting Evolve LED
- Cree Edge
- Gardco Gullwing; Gardco Pureform



CORE BRANDING  
STANDARDS PROGRAM

PROJECT NO.

KIA0006.01

CHECKED

ZJM

DATE

JAN '13

REVISED

FEB '16

SCALE

NONE

InterbrandDesignForum

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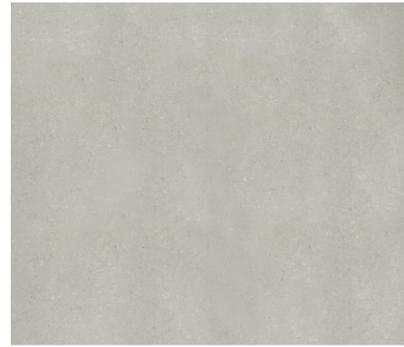
DRAWING TITLE

SITE & BUILDING LIGHTING DESIGN  
CRITERIA

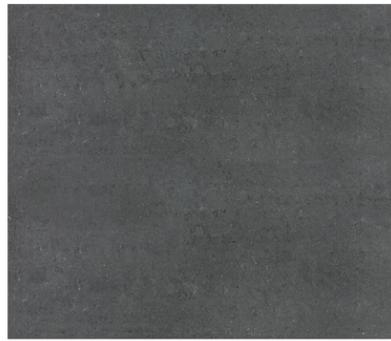
DRAWING NO.

A-1A.2

**Interior Materials**



**CT-1 Ceramic Tile,**  
General Showroom  
Accent Tile, polished



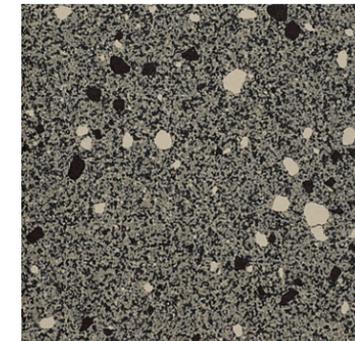
**CT-2 Ceramic Tile,**  
General Showroom  
Field Tile, Restroom  
Floor Tile, polished



**CT-3 Ceramic Tile,**  
Focal Vehicle Flooring,  
polished



**CT-4 Ceramic Tile,**  
Cafe Flooring



**CT-6 Ceramic Tile,**  
Service Floor, Service  
Reception, Vehicle  
Delivery Field Tile



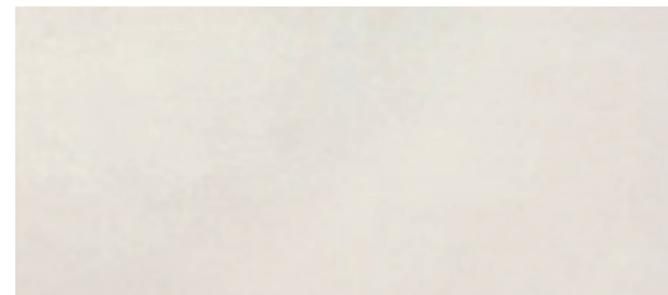
**CT-7 Ceramic Tile,**  
Service Bays Accent Stripe,  
Service Reception Sidewalk



**CT-8 Ceramic Tile,**  
Tech Restroom, Tech  
Locker Room Field Tile



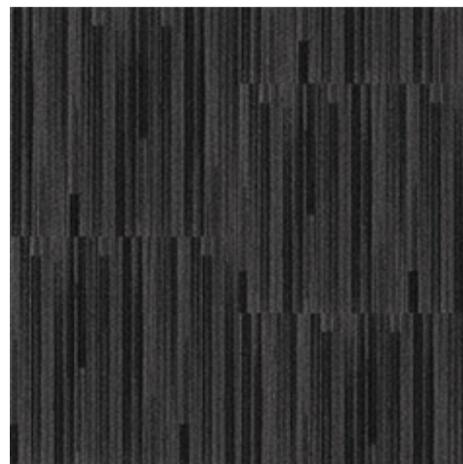
**CT-9 Ceramic Tile,**  
Tech Restroom, Tech,  
Locker Room Field Tile



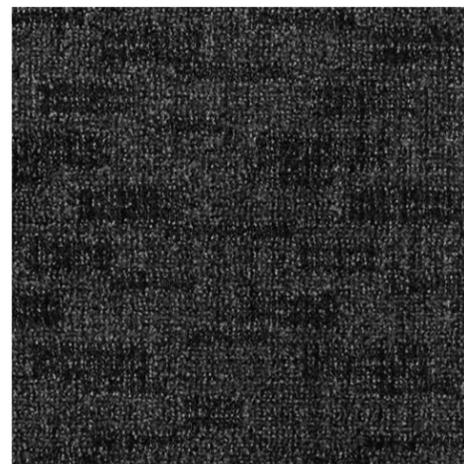
**CT-10 Ceramic Tile,**  
Restroom Field Tile



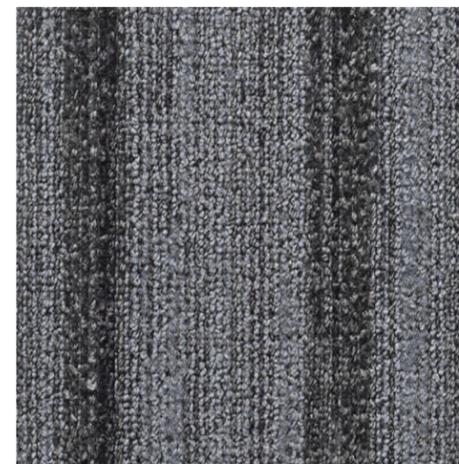
**CT-12 Ceramic Tile,**  
Restroom Wall Accent



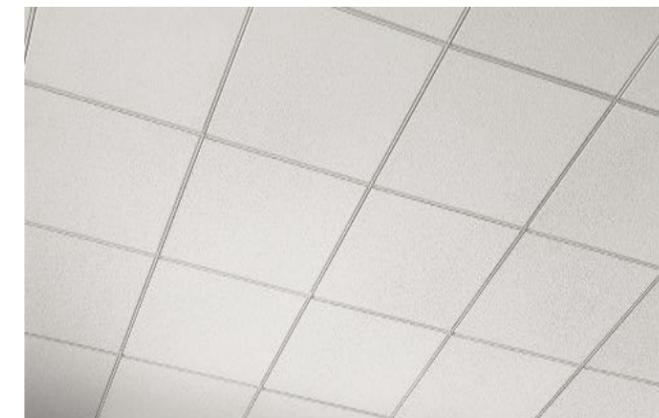
**CPT-1 Carpet,**  
Showroom Accent, Consultation,  
Conference Room, Internet/BDC



**CPT-2 Carpet,**  
BOH, General Offices



**CPT-3 Carpet,**  
Kids Area



**ACT-1 Acoustic Ceiling Tile,**  
Offices, Break Room, Administration

**NOTES:**  
**CT-5 NOT USED**  
**CT-11 NOT USED**



**CORE BRANDING  
STANDARDS PROGRAM**

PROJECT NO.

**KIA0006.01**

CHECKED

**ZJM**

DATE

**JAN '13**

REVISED

SCALE

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DRAWING TITLE

**Interior Material Palette**

DRAWING NO.

**A-4B.1**

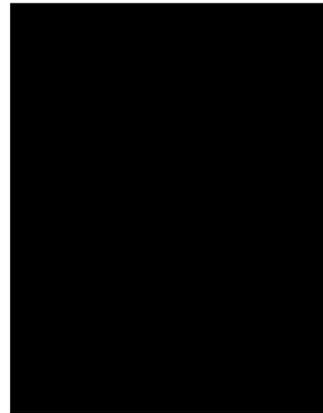
**Interior Materials Continued**



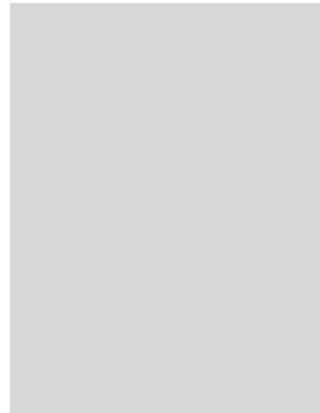
**P-1 Paint,**  
General Walls,  
Ceiling Soffits



**P-2 Paint,**  
Lower Wall in  
Service Area



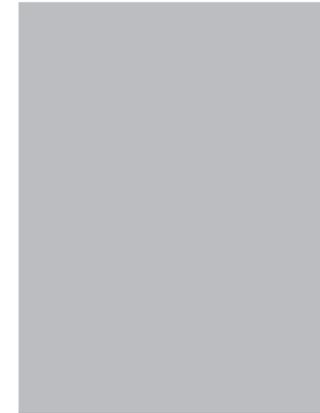
**P-3 Paint,**  
Service Area  
Stripe



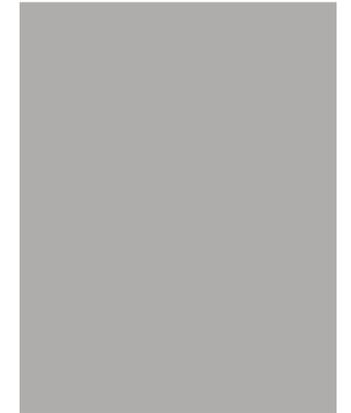
**P-4 Paint,**  
General Walls in  
Service Area



**P-6 Paint,**  
Accent Walls

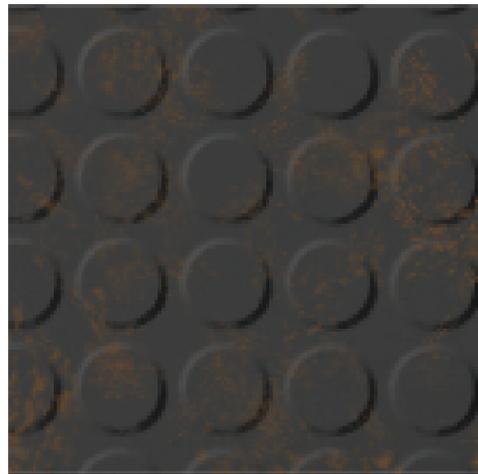


**P-7 Paint,**  
Retail Parts Soffit



**P-8 Paint,**  
General Office Accent Wall

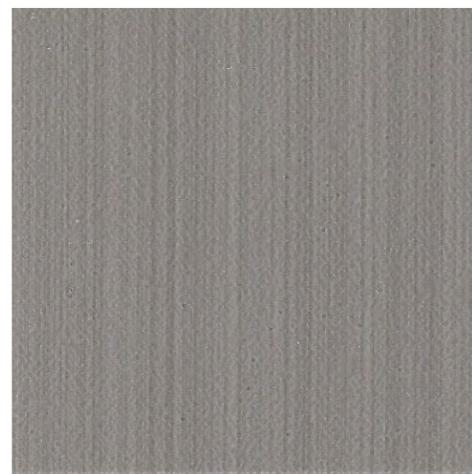
**P-5 Paint,**  
Service Area  
Ceiling



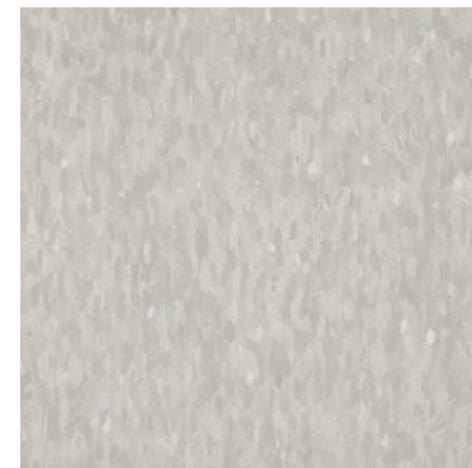
**RT-1 Rubber Tile Flooring,**  
Service Manager, Retail Parts,  
Tires/Equipment



**SC-1 Sealed Concrete,**  
Parts Room, BOH



**VF-1 Vinyl Flooring,**  
Breakroom Flooring



**VCT-1 Vinyl Composition Tile,**  
Tech breakroom flooring



**GL-3 Glass,**  
Brand Wall



**CORE BRANDING  
STANDARDS PROGRAM**

PROJECT NO.

**KIA0006.01**

CHECKED

**ZJM**

DATE

**JAN '13**

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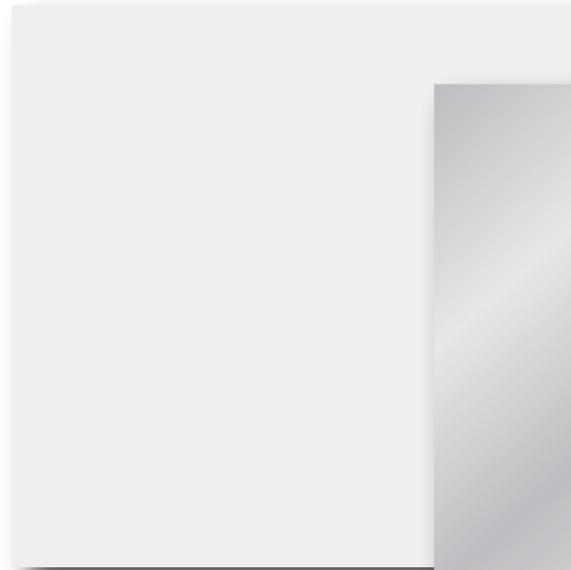
DRAWING TITLE

**Interior Material Palette**

DRAWING NO.

**A-4B.2**





**MP-1 Metal Panel,**  
Exterior Facade, Main Field



**MP-2 Metal Panel,**  
Exterior Columns,  
Exterior Canopy



**MP-3 Metal Panel,**  
Bottom of Canopies



**EP-1 Exterior Paint,**  
Exterior Doors



**EP-2 Exterior Paint,**  
Alternate to MP-1



**EP-3 Exterior Paint,**  
Alternate to CMU-1



**CMU-1 Concrete Masonry Unit,**  
Exterior Facade, Main Field  
(Split Face Finish)



**EIFS-2 Exterior Insulated  
Finishing System,**  
Alternate to CMU-1



**CC-1 Colored Concrete,**  
Exterior Walkway



**CC-2 Colored Concrete,**  
Exterior Walkway Accent  
Striping



**SF-1 Store Front,**  
Exterior Showroom Facade



**CORE BRANDING  
STANDARDS PROGRAM**

PROJECT NO.

**KIA0006.01**

CHECKED

**ZJM**

DATE

**JAN '13**

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**APR '16**

SCALE

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DRAWING TITLE

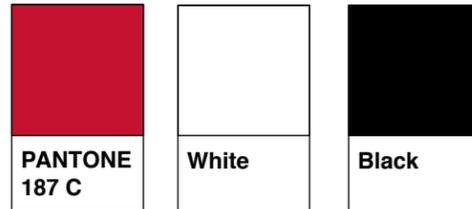
**Exterior Material Palette**

DRAWING NO.

**A-6B**

**COLOR PALETTE**

Colors shown represent main colors in the program.  
All other colors to match as noted on appropriate pages.



*ALL COLORS SHOWN IN THIS DOCUMENT (PMS AND/OR CMYK) ARE FOR COLOR REFERENCE ONLY AND ARE NOT FOR FINAL COLOR MATCHING. GRAPHICS ARE TO BE PRODUCED TO MATCH PMS COLORS AS NOTED. REFER TO THE APPROPRIATE PANTONE® MATCHING SYSTEM SWATCH BOOK FOR ACCURATE COLOR.*

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**FONTS**

**ABCDEFGHIJKLMNOPQRSTUVWXYZ**  
**abcdefghijklmnopqrstuvwxyz**

NEO SANS BOLD

**FILE FORMATS**

Upon client request, Interbrand Design Forum can provide design intent files in the following format:

Adobe Illustrator CS5  
Adobe PDF

	<b>CORE BRANDING STARDARDS PROGRAM</b>	PROJECT NO.	DRAWN BY	DATE	REVISED	SCALE	 • DESIGN CONTROL DOCUMENTS • <small>These drawings are for communication of design intent only. These drawings are to specify size, shape, color, features and proportions and are not to be used as fabrication drawings.</small>	DRAWING TITLE <b>GRAPHIC SPECIFICATIONS</b>	DRAWING NO. <b>GS</b>
		KIA0006.01	EHS	NOV '12	-	Not to Scale			

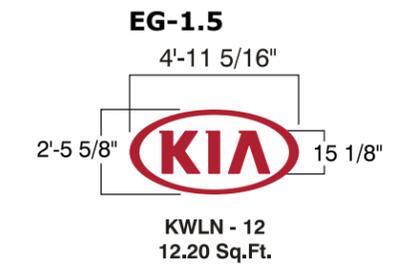
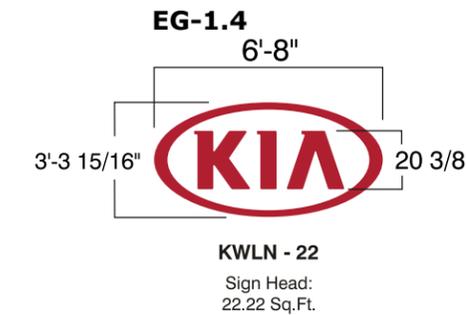
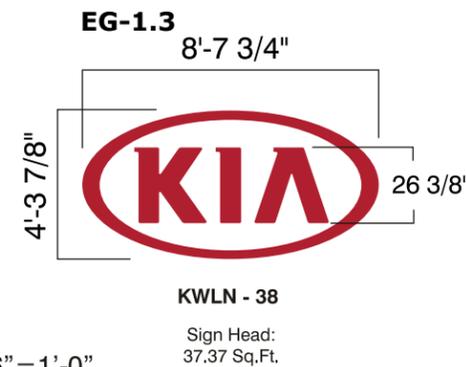
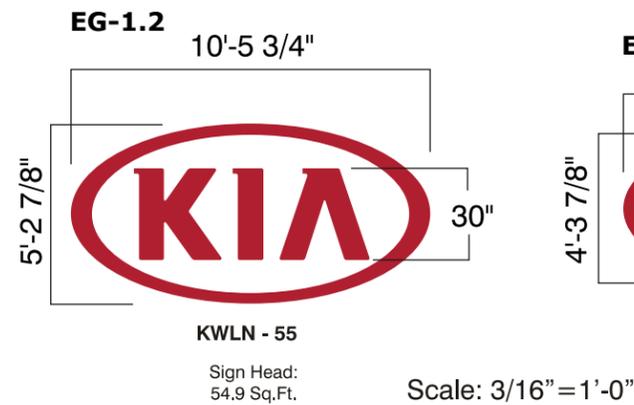
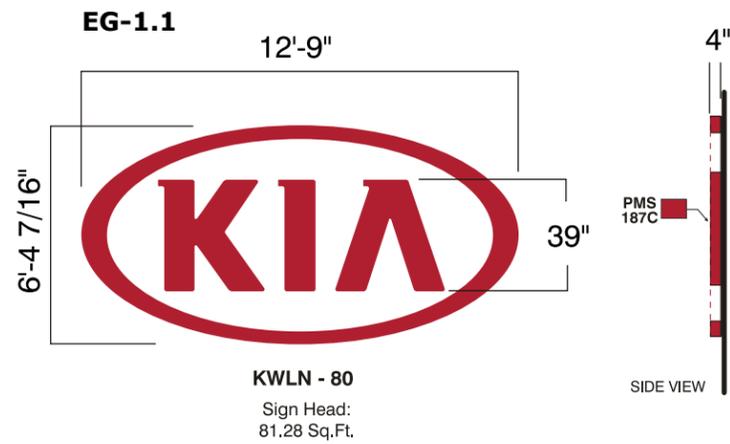


**WALL SIGNS**

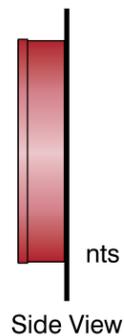
Exterior signage available through:



410 N. CEDAR BLUFF RD. • SUITE 101 • KNOXVILLE, TN 37923  
 • Tel (865) 693-1105 • Fax (888) 694-1106 • Toll Free (866) 218-1976



**CHANNEL LETTERS** Available in 12", 18", 24", 30" and 36" Sizes  
 Font: Neo Sans Bold



Red perforated vinyl illuminates white at night



KIA RED	PMS 187C
METALLIC SILVER	MP 18091
METALLIC GRAY	MP 18214

Scale: 3/16"=1'-0"



**CORE BRANDING  
 STANDARDS  
 PROGRAM**

PROJECT NO.  
**KIA0006.01**

DRAWN BY  
**EHS**

DATE  
**NOV '12**

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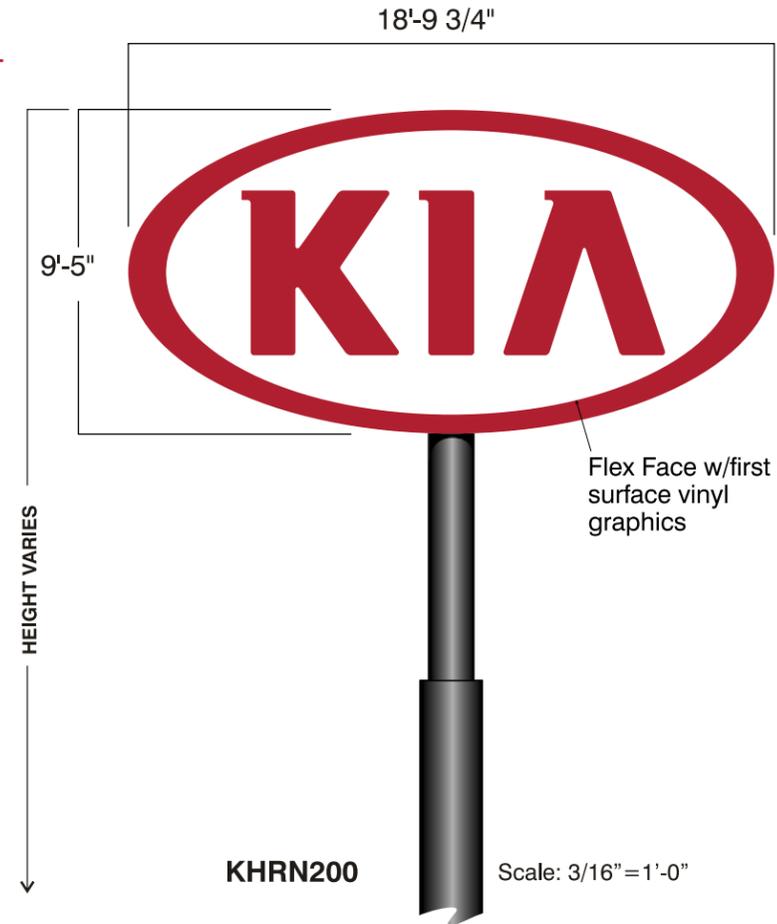
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DRAWING TITLE  
**EXTERIOR SIGNAGE PROGRAM**

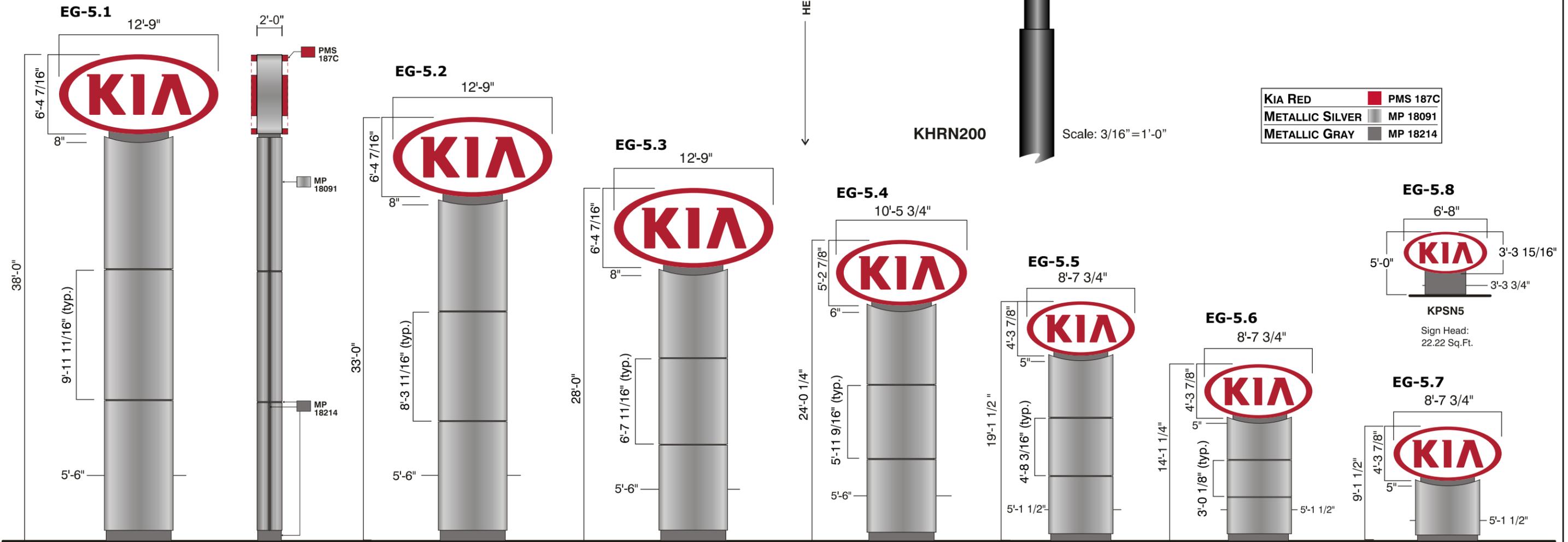
DRAWING NO.  
**EG-1,2,3**

**HI-RISE SIGN  
EG-4**

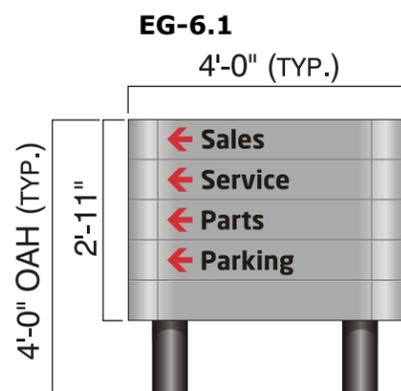
Exterior signage available through:  
  
 410 N. CEDAR BLUFF RD. • SUITE 101 • KNOXVILLE, TN 37923  
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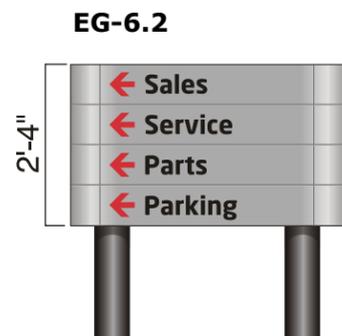
KIA RED	■ PMS 187C
METALLIC SILVER	■ MP 18091
METALLIC GRAY	■ MP 18214



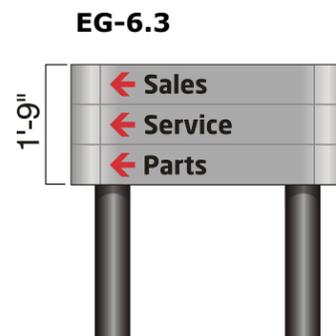
<b>KPSN38</b> Sign Head: 81.28 Sq.Ft.	Scale: 1/8" = 1'-0"	<b>KPSN33</b> Sign Head: 81.28 Sq.Ft.	<b>KPSN28</b> Sign Head: 81.28 Sq.Ft.	<b>KPSN25</b> Sign Head: 54.9 Sq.Ft.	<b>KPSN20</b> Sign Head: 37.37 Sq.Ft.	<b>KPSN15</b> Sign Head: 37.37 Sq.Ft.	Scale: 1/8" = 1'-0"	<b>KPSN10</b> Sign Head: 37.37 Sq.Ft.
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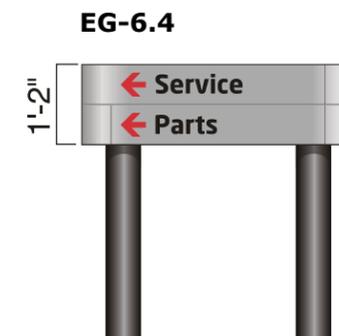
KDR5



KDR4



KDR3



KDR2

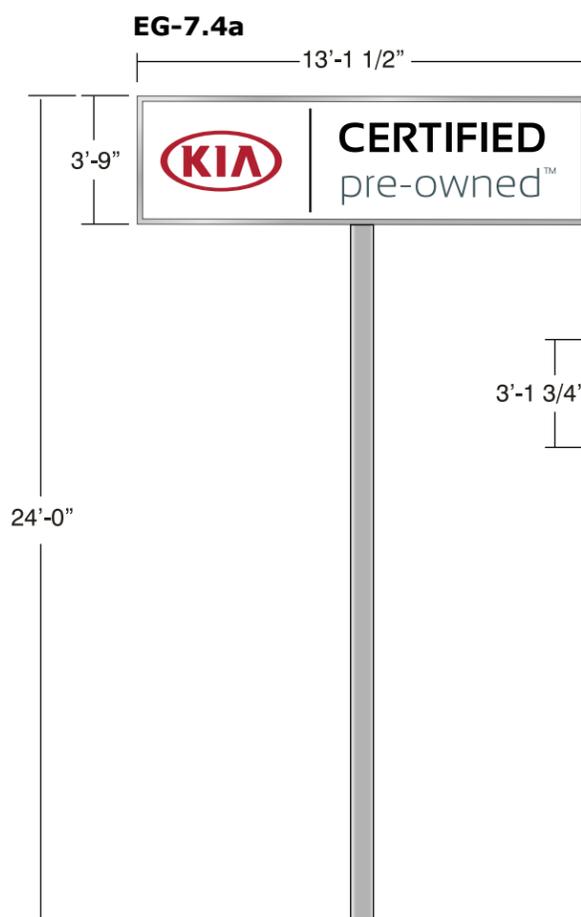


KDR1



REVERSE SIDE OPTIONAL COPY  
Scale: 3/16" = 1'-0"

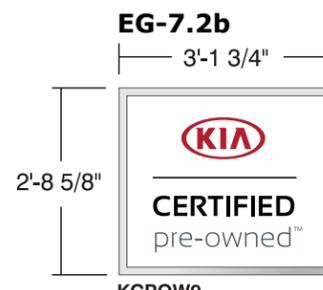
**CERTIFIED/PREOWNED SIGNS  
PYLON SIGNS**



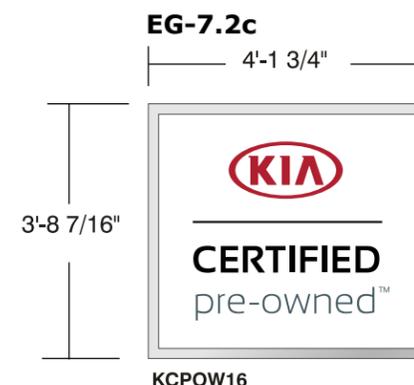
KCPOP50  
Available Height  
24'



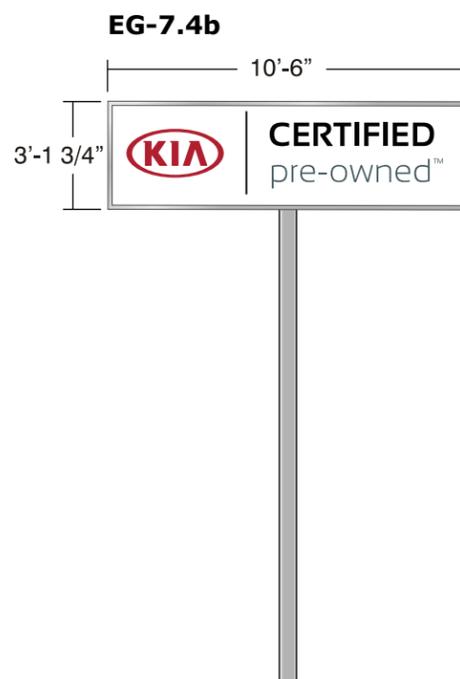
KCPOW4



KCPOW9



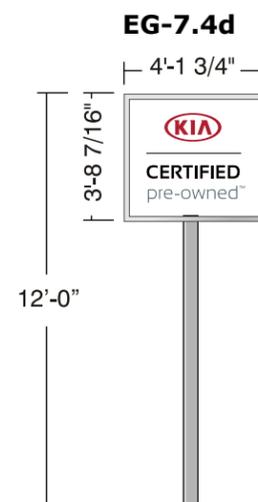
KCPOW16



KCPOP30  
Available Height  
12', 17'

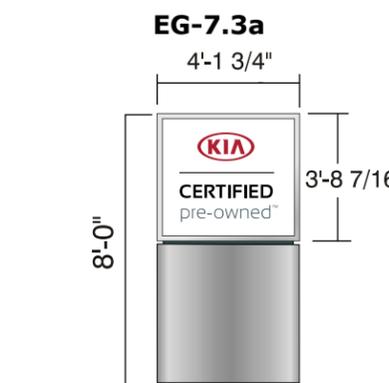


KCPOP28  
Available Height  
12', 17'



KCPOP16  
Available Height  
12', 17'

**MONUMENT SIGNS**



KCPOM16



KCPOW14



KCPOM30

Scale: 3/8" = 1'-0"

Scale: 3/16" = 1'-0"



**CORE BRANDING  
STARDARDS  
PROGRAM**

PROJECT NO.  
**KIA0006.01**

DRAWN BY  
**EHS**

DATE  
**NOV '12**

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DRAWING TITLE  
**EXTERIOR SIGNAGE PROGRAM**

DRAWING NO.  
**EG-6,7**



**Narrative**

This Survey Update was requested by Mr. James Rumpsa of Cutrubus for the purpose of showing the current conditions of this site, as well as Title Purposes.

A line between monuments found for the South Quarter Corner and the Southwest Corner of Section 7 was assigned the bearing of S 89°09'48" East as the Basis of Bearings.

Properly Corners were set as depicted on this Survey.

**Title Information**

This survey was completed using Commitment for Title Insurance issued by Stewart Title Insurance Agency of Utah, Inc, under File No. 01459-14489 2nd Amendment dated December 09, 2015 @ 8:00 A.M.

The following survey related items are listed from Schedule B - Section 2 of the title report.

EXCEPTION NO 1-13, 22-23: Not Survey Related Matters

EXCEPTION NO 14: Subject to a 14 foot Right-of-Way as reserved in that certain Warranty Deed Recorded August 23, 1911 in Book 67, Page 278 of Official Records.

EXCEPTION NO 15 (PLOTTED, AFFECTS RIVERDALE ROAD): Possible irrigation ditches along the State Highway as permission was granted in Deed to State Road Commission of Utah, Recorded April 17, 1944, as Entry No. 82805, in Book 192, Page 5, of Official Records, to relocate outside the Right-of-Way, all irrigation ditches existing within the limits of said Right-of-Way.

EXCEPTION NO 16 (PLOTTED, AFFECTS THE EAST SIDE OF PARCEL 1): Subject to ditches and/or pipelines for irrigation water as stated in that certain Warranty Deed Recorded October 21, 1987 as Entry No. 1028475, in Book 1526, Page 577 (re-Recorded October 22, 1987 as Entry No. 1028571, in Book 1526, Page 778).

Agreement, upon the terms and conditions therein provided, Recorded March 2, 1988, as Entry No. 1039492, in Book 1535, Page 327, of Official Records.

EXCEPTION NO 17 (PLOTTED, AFFECTS THE EAST SIDE OF PARCEL 1): A Right-of-Way and easement for electrical transmission and incidental purposes as created in favor of Utah Power Light Company Recorded August 8, 1989 as Entry No. 1085654, in Book 1565, Page 1738, of Official Records. (Grantor had no interest)

EXCEPTION NO 18 (NOT PLOTTED, NO DOCUMENTS FOR EXCEPTION WERE PROVIDED AT THE TIME OF SURVEY): Rights-of-Way for canals, laterals, ditches, roads and utilities, if any, over, under or across said land including, but not limited to, the following: Riverdale Road, 4450 South and the existing (private) road running North/South.

EXCEPTION NO 19 (NOT PLOTTED, NO DOCUMENTS FOR EXCEPTION WERE PROVIDED AT THE TIME OF SURVEY): Easements and Rights-of-Way of record or enforceable in law and equity for any existing roads, streets, alleys, ditches, reservoirs, utilities, canals, pipelines, power, telephone, sewer, gas or water lines now existing over, under or across subject property.

EXCEPTION NO 20 (NOT PLOTTED, NO DOCUMENTS FOR EXCEPTION WERE PROVIDED AT THE TIME OF SURVEY): Legal description contained herein contains gaps and/or overlaps as disclosed by mathematical comparison of adjoining property.

EXCEPTION NO 21 (PLOTTED): Matters disclosed by ALTA Survey dated August 25, 2015 by Great Basin Engineering Inc., which among other things include the following: Dead description overlaps, existing utility lines, and existing improvement encroachments (asphalt/parking).

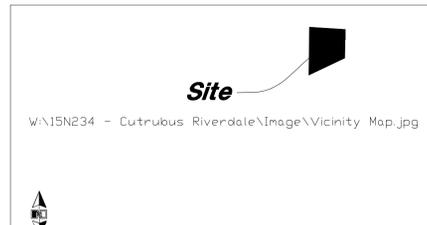
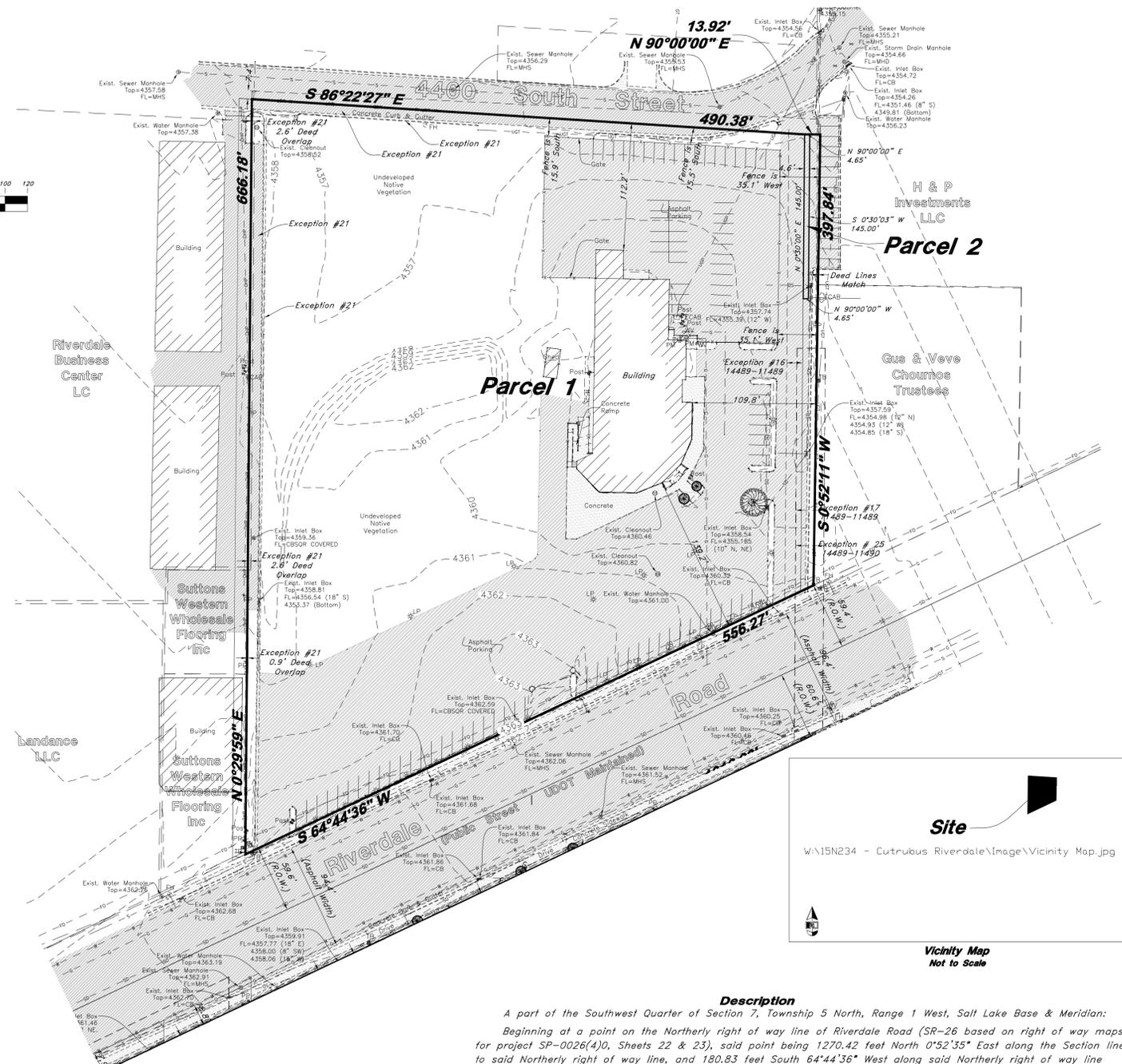
**Notes**

1. Utilities shown are from observed evidence on the site and records available at the time of the survey, and confirmed with information provided by utility companies at the time the survey was completed.
2. There is no observed evidence of current earth moving work, building construction, or building additions.
3. No information was available from Riverdale City regarding proposed changes in Street Right-of-Way. No observed evidence of streets or sidewalk construction or repairs.
4. No encroachments were found other than what is shown on the drawing.

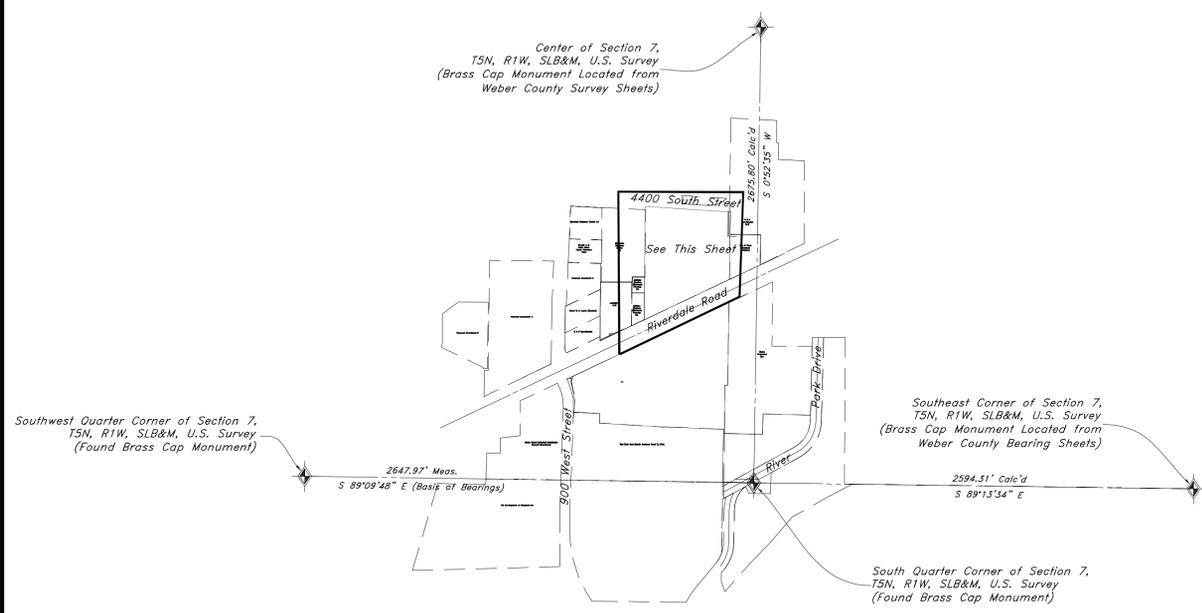
**Flood Plain**

Property is located in Zone "X" (No Shading and Zone X (Shading): Areas determined to be outside of the 0.2% annual chance flood plane" (No Shading), and "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood" according to:

- Flood Insurance Rate Map No. 49057C0436F
- Effective Date of June 2, 2015.



Vicinity Map  
Not to Scale



Section Corner Information  
1" = 500'

**LEGEND**

—E— Centerline	TA Top of Asphalt	C.M.P. Corrugated Metal Pipe
---UGT--- Buried Telephone line	EA Edge of Asphalt	R.C.P. Reinforced Concrete Pipe
---DHT--- Overhead Telephone line	NG Natural Ground	CONE Edge of Concrete
---OHP--- Overhead Power line	LC Lip of Gutter	RWALL Retaining Wall
---UGP--- Power line	SP Service Pole	SMH Sewer Manhole
---S--- Sanitary Sewer line	LP Light Pole	WC Water Valve
---W--- Culinary Water line	PP Power Pole	CB Catch Basin
---G--- Gas line	TP Telephone Pole	DB Diversion Box
---SD--- Storm Drain line	FH Fire Hydrant	TC Top of Curb
---SW--- Secondary Waterline	DIT Flowline of Ditch	SW Sidewalk
---LD--- Land Drain line	TOE Top of Slope	GL Gas line Marker
---IW--- Irrigation Waterline	TOP Top of Slope	GUY Guy Wire
---X--- Fence	CO Cleanout	BUDG Building Corner
• Power Pole	NC Fence	NG Natural Ground
• Post	FC Drain Manhole	DI Fire Hydrant
• Water Meter	DMH Flowline	CV Water Valve
• Gas Meter	x99.00 Spot Elevation	LP Light Pole
• Telephone Box	Asphalt	• Deciduous Tree
• Sewer Manhole	Concrete	• Coniferous Tree
• Drain Manhole	Building	• Set Rebar & Cap
• Water Manhole	Catch Basin	
• Cleanout Box		

**Description**

A part of the Southwest Quarter of Section 7, Township 5 North, Range 1 West, Salt Lake Base & Meridian: Beginning at a point on the Northerly right of way line of Riverdale Road (SR-26 based on right of way maps for project SP-0026(4)0, Sheets 22 & 23), said point being 1270.42 feet North 0°52'35" East along the Section line to said Northerly right of way line, and 180.83 feet South 64°44'36" West along said Northerly right of way line from the South Quarter corner of said Section to the true point of beginning and running; thence South 64°44'36" West 556.27 feet along said Northerly right of way line; thence North 00°29'59" East 666.18 feet to the centerline of 4400 South Street; thence two (2) courses along said centerline as follows: (1) South 86°22'27" East 490.38 feet; and (2) due East 13.92 feet to the West boundary line of Cutrubus Riverdale Subdivision, in Riverdale City, Weber County, Utah; thence South 00°52'11" West 397.84 feet along said West boundary line and said West boundary line extended to the point of beginning.

Containing 266,865.79 square feet or 6.1264 acres, more or less.

**Certification**

To H & P Investments and Stewart Title Insurance Agency of Utah, Inc.:

This is to certify that this map or plot and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, and NSPS in 2005, and includes Items 1, 2, 4, 5, 7(a), 8, 11(b), 13, 14 and 16 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor in the State of Utah, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

Date of Survey: January 13, 2016  
Fieldwork Completed: September 11, 2015

Date \_\_\_\_\_  
Andy Hubbard  
Utah PLS No. 6242920

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**ALTA/ACSM Survey**  
**Cutrubus - Riverdale**  
 770 West Riverdale Road  
 Riverdale City, Weber County, Utah  
 A part of Section 7, T5N, R1W, SLB&M, U.S. Survey

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**13 Jan, 2016**  
 SHEET NO. **1**  
 15N234















