



**RIVERDALE CITY PLANNING COMMISSION AGENDA
CIVIC CENTER - 4600 S. WEBER RIVER DR.
TUESDAY – MAY 24, 2016**

6:00 p.m. – Planning Commission Work Session Meeting (City Offices)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items -Planning Commission Training *to be determined*

6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Open Communications

(This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes.)

C. Presentations and Reports

D. Consent Items

1. Consideration of Meeting Minutes from:

May 10, 2016 Work Session

May 10, 2016 Regular Meeting

E. Action Items

1. Consideration of Infill Lot Development/Preliminary Residential Subdivision Approval for A K Walker Subdivision, 850 West 4375 South, Riverdale

2. Consideration of Infill Lot Development/Residential Small Subdivision Approval for Hill Family Subdivision, 300 West Highland Drive, Riverdale

Presenter: All action items will be presented by Mike Eggett, Community Development

F. Discretionary Items

G. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Riverdale City limits on this 20th day of May, 2016 at the Riverdale City Hall Noticing Board and on the City website at <http://www.riverdalecity.com/>. A copy was also provided to the Standard-examiner on May 20, 2016.

Jackie Manning
Riverdale City Recorder

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
May 24, 2016**

AGENDA ITEM: D

SUBJECT: Planning Commission Meeting Minutes

PETITIONER: Jackie Manning, City Recorder

ACTION REQUESTED: Consideration of approval.

INFORMATION: [May 10, 2016 Planning Commission Work Session](#)
[May 10, 2016 Planning Commission Regular Meeting](#)

[BACK TO AGENDA](#)

Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday, May 10, 2016, at 6:08 PM, at the Civic Center in the Administrative Offices, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

Commissioners:	Blair Jones, Vice-Chair David Gailey, Commissioner Lori Fleming, Commissioner Robert Wingfield, Commissioner
Excused:	Steve Hilton, Chairman Kathy Eskelsen, Commissioner Michael Roubinet, Commissioner
City Employees:	Mike Eggett, Community Development Jackie Manning, City Recorder
Others Present:	No members of the public were present

Commissioner Jones welcomed the Planning Commission members to the Work Session and stated for the record that all were in attendance with the exception of Commissioners Hilton, Eskelsen and Roubinet, who are all excused.

Presentations and Reports: Commissioner Jones turned the time over to Mr. Eggett who reported the following:

- Sweeto Burrito is now open.
- Reeve and Associates will be open shortly.
- Wendy's remodel is almost complete.
- There will be a two lot subdivision on the next agenda.
- Aunt Nancy's Assisted Living Facility may be looking to amend their site plan.

Consent Items:

Commissioner Jones asked for any changes or corrections to the meeting minutes for Regular and Work Session Planning Commission Meeting Minutes, for the April 26, 2016 meeting. There were no corrections requested.

Action Items:

Commissioner Jones invited discussion regarding the first action item, Consideration of approval for reduction of rear yard space for mobile home placement on a lot in Riverside Village Mobile Home Park, 4375 Weber River Drive, Riverdale, Utah 84405.

Mr. Eggett explained this matter was brought by Dave Weddel, representative of Riverside Village Mobile Home Park. Mr. Eggett summarized the executive summary which displayed all of the laws pertaining to this request. Mr. Eggett explained the location of the proposed mobile home according to the drawn site plan. Commissioner Fleming asked if this was owner occupied. Mr. Eggett believed it was.

Commissioner Jones invited discussion regarding the second action item, consideration of Preliminary Site Plan approval for Maverik, Inc. 900 W Riverdale Road, Riverdale, Utah 84405.

Mr. Eggett summarized the executive summary. Mr. Eggett discussed the design review committee review that was approved in April. There hasn't been signage addressed at this time. Mr. Eggett stated the applicant can submit signage with their site plan, however, it is not required. Commissioner Fleming asked about digital signage requirements. Mr. Eggett discussed the signing regulations pertaining to digital requirements.

Mr. Eggett referred to the outstanding items on the report that need to be resolved by the applicant. Mr. Eggett stated they have received the geotechnical report. He explained Maverik is working towards addressing the outstanding issues in hopes to have everything resolved by the final site plan review. Mr. Eggett discussed the storm drain system and the requirements therein. Mr. Eggett discussed landscaping requirements and explained the picnic area would be included in the overall landscaping total.

There was a discussion regarding the temporary access points for Maverik as outlined on the site plan. Mr. Eggett clarified the ingress and egress on the site plan.

Mr. Eggett clarified the location of the picnic area and the temporary turn around.

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Discretionary Items:

There were no discretionary items.

Adjourn:

Having no further business to discuss the Planning Commission adjourned at 6:27 PM to convene into their Regular Planning Commission Meeting located in the Council Chambers.

DRAFT

Minutes of the Regular Meeting of the Riverdale City Planning Commission held Tuesday, May 10, 2016, at 6:30 PM, at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present: Commissioners: Blair Jones, Vice-Chair
David Gailey, Commissioner
Lori Fleming, Commissioner
Robert Wingfield, Commissioner

City Employees: Mike Eggett, Community Development
Jackie Manning, City Recorder

Excused: Steve Hilton, Chairman
Kathy Eskelsen, Commissioner
Michael Roubinet, Commissioner

Visitors: Elizabeth Hunt, Maverik

A. Welcome & Roll Call

Commissioner Jones welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present, with the exception of Commissioners Hilton, Eskelsen and Roubinet. The only other attendee was Elizabeth Hunt, a representative for Maverik.

B. Open Communications

There were not any open communications.

C. Presentations and Reports

Commissioner Jones made reference to the reports that were mentioned during the Work Session Meeting:

- Reeve and Associates will be open shortly.
- Sweeto Burrito is now open.
- Wendy's remodel is almost complete.
- There will be a two-lot subdivision on the next agenda.
- Aunt Nancy's Assisted Living Facility may be looking to amend their site plan.

D. Consent Items

Commissioner Jones asked for changes or corrections to the Planning Commission meeting minutes for April 26, 2016 Work Session and Regular Meeting. There were no corrections requested.

MOTION: Commissioner Fleming moved to approve consent items, meeting minutes as written.
Commissioner Wingfield seconded the motion.

There was no discussion regarding this motion.

CALL THE QUESTION: The motion passed unanimously.

E. Action Items

1. Consideration of approval for reduction of rear yard space for mobile home placement on a lot in Riverside Village mobile home park, 4375 Weber River Drive, Riverdale, Utah 84405.

Mr. Eggett summarized an executive summary, which explained:

The Riverside Village Mobile Home Park has applied for a rear yard setback review for a trailer lot located inside of a cul-de-sac within this trailer park that is located at approximately 4375 South Weber River Drive in a Mobile Home Park-Recreational Vehicle Park (RMH-1) zone. This request is subject to the review of the Planning Commission per 10-9G-14(F.)(2.)(e.) of the Riverdale City Code. A public hearing is not required to consider this request. Following the presentation and discussion of the mobile home placement request, the Planning Commission may make a motion to approve the location of the mobile home as submitted, approval of the proposed mobile home location with any requested modifications, or not approve the location of the mobile home within the Riverside Village Mobile Home Park.

Title 10 Ordinance Guidelines (Code Reference)

69 This mobile home location request is regulated under City Code 10-9G "Mobile Home Park-Recreational Vehicle Park
70 Zone (RMH-1)".
71

72 The language as found in the code in 10-9G-14(F).(2).(e) states as follows:
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74 "e. Yard space between the end of a mobile home and the boundary line: fifteen foot (15') minimum. Where due to the
75 shape of the mobile home space it is desirable to locate the mobile home closer to the boundary line, the planning
76 commission may authorize a reduction to allow the corner or end of a mobile home to be not less than five feet (5') from
77 the park boundary."
78

79 Attached with this executive summary is a packet of information provided by the applicant which includes a letter of
80 request for the approval to place a mobile home in the vacant lot, an aerial image of the lot wherein the trailer is being
81 requested to be located, and a drawing of how the trailer would be located on the lot with a representation of the site back
82 distances. Please note that the rear yard distance from the mobile home park property boundary is represented as being
83 placed at a distance of 9 feet from the property boundary. Additionally, this trailer would be relocated from another mobile
84 home park within Riverdale City.
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86 Any staff feedback received before this meeting will be shared with the Planning Commission as part of the review
87 discussion.
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89 Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns
90 raised by staff and/or the Planning Commission. Staff would then encourage the Planning Commission to make a motion
91 to approve the location of the mobile home as submitted, approval of the proposed mobile home location with any
92 requested modifications, or not approve the location of the mobile home within the Riverside Village Mobile Home Park.
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94 Mr. Eggett referred to the site plan drawings for this request. Commissioner Jones inquired about the placement of
95 the mobile home as well as whether or not there would be an awning. Mr. Eggett stated the building official oversees and
96 measures all mobile home relocations to ensure accuracy. Mr. Eggett stated Riverside Mobile Home Park has been
97 compliant historically. Mr. Eggett felt the new mobile home should be smaller than what is shown in the aerial (which
98 shows the previous mobile home tenant). The applicant is requesting a 6-foot movement. Mr. Eggett felt the building
99 official would enforce what the planning commissioners stipulated.
100

101 **MOTION:** Commissioner Fleming moved to approve request for reduction of rear yard space for
102 mobile home placement on a lot in Riverside Village mobile home park, 4375 South
103 Weber River Drive, Riverdale, Utah 84405, with stipulations that the building official
104 enforce the applicant not to exceed an allowance of 6 feet. The motion was seconded by
105 Commissioner Gailey.
106

107 There was no discussion regarding this motion.
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109 **CALL THE QUESTION:** The motion passed unanimously.
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111 **2. Consideration of Preliminary Site Plan approval for Maverik, Inc., 900 West Riverdale Road, Riverdale, Utah
112 84405.**
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114 Mr. Eggett summarized an executive summary which explained:
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116 Maverik, as represented by Elizabeth Hunt, has applied for a Preliminary Site Plan review of a Gas Station and
117 Convenience Store Site Plan located at approximately 900 West Riverdale Road in a Regional Commercial (C-3) zone.
118 This site plan is being proposed for development on property currently owned by H&P Investments. A public hearing is
119 not required to consider this Site Plan proposal. Following the presentation and discussion of the proposal, the Planning
120 Commission may make a motion giving preliminary approval of the Riverdale Maverik site plan proposal, approval of the
121 proposed site plan with any requested modifications, or not giving preliminary approval of the Riverdale Maverik site plan.
122 If preliminary approval was provided, then this matter could move forward to a future Final Site Plan review process with
123 the Planning Commission.
124

125 Title 10 Ordinance Guidelines (Code Reference)
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127 This Preliminary Site Plan review is regulated under City Code 10-25 "Development in All Zones", and is affected by
128 City Codes 10-10A "Regional Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones", 10-15
129 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".
130

131 The proposed development parcel is located on the southeast corner of 900 West and Riverdale Road on property
132 currently owned by H&P Investments. The property is in a C-3 zone and all uses listed in this zone (whether permitted or
133 conditional) would be available for development and use on this lot. Per the applicant, the desired uses are retail
134 convenience store and gas station.
135

136 Attached with this executive summary is a document entitled "Preliminary Site Plan Review – Riverdale Maverik"; this
137 is a supplementary document addressing items on the Preliminary Site Plan application document. Also attached,
138 following this executive summary, are comments from the Public Works Director, the Fire Chief, the Police Chief, the City
139 Administrator, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these
140 summaries.
141

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143 In addition to the Preliminary Site Plan documentation, a packet referencing the exterior building elevation design
144 have been provided. The attached building renderings, materials summary, and landscaping have been reviewed by the
145 City's Design Review Committee on April 29, 2016 wherein the Design Review Committee approved the submitted
146 landscaping, materials, and overall aesthetics of the proposed structure.
147

148 The Planning Commission is encouraged to briefly discuss signage plans with the petitioner to better understand how
149 signage will work in this area; signage is regulated per City Code 10-16 (specifically section 8.(b.) for Commercial
150 Districts); the applicant should be directed to adhere to this Code when contemplating signage.
151

152 Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns
153 raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission may make a
154 motion giving preliminary approval of the Riverdale Maverik site plan proposal, approval of the proposed site plan with any
155 requested modifications, or not giving preliminary approval of the Riverdale Maverik site plan. If preliminary approval was
156 provided, then this matter could move forward to a future Final Site Plan review process with the Planning Commission.
157

158 Mr. Eggett briefly discussed the signage requirements. He reviewed the staff reports and outstanding items (which
159 are highlighted in yellow in the preliminary site plan review).
160

161 The Public Works Director, Shawn Douglas, submitted the following comments:

- 162 1-Drainage system operation and maintenance plans need to be provided and recorded.
- 163 2-Retention for site needs to be provided based on the new state requirements.
- 164 3-A device to clean up storm water before it leaves the site needs to be provided.
- 165 4-Method of connection to city storm drain needs to be provided.
- 166 5-Provide proposed storm water flows and calculations.
- 167 6-A note to certify retention pond size and elevation needs to be included on the plans.
- 168 7-Concrete wash out needs to be on the building site.
- 169 8-Left turn on 900 W needs to be deleted, due to interference with existing turn lanes.
- 170 9-Concrete in sidewalks and approaches needs to be 6" thick.
- 171 10-Water meter needs to be placed in park strip and connected to city main.
- 172 11-Existing water service needs to be capped at city main.
- 173 12-Fire line needs to be connected to city main in 900 W and labeled on the plans as a private line.
- 174 13-Backflow preventer size, type and location needs to be shown.
- 175 14-Provide proposed water usage demands.
- 176 15-Provide proposed sanitary sewer flows.
- 177 16-Show size and condition of existing sanitary sewer service.
- 178 17-Note on the plans requiring all construction and materials shall meet Riverdale City standards.
- 179 18-Note on the plans requiring all missing, nonfunctioning or damaged surface improvements shall be replaced
- 180 19-Gravel turn arounds are not allowed.

181 There was a brief discussion regarding handicap parking. Mr. Eggett explained the handicap parking was adequate
182 according to the building code standard.
183

184 Elizabeth Hunt, showed the trash enclosure location on the site plan. There was a discussion regarding fuel pump
185 requirements and standards in relation to the environment and disposal of closed gas stations.
186

187 Mr. Eggett discussed the temporary turn around and the various access points for Maverik. Mr. Eggett explained the
188 location of the proposed Maverik in relation to existing businesses. There was a discussion regarding traffic patterns in
189 relation to Wal Mart and other businesses along Riverdale Road. Mr. Eggett discussed how the access points to Maverik
190 will change in the future should the property to the east develop.
191

192 **MOTION:** Commissioner Wingfield moved to approve Preliminary Site Plan approval for Maverik,
193 Inc., 900 West Riverdale Road, Riverdale, Utah 84405, subject to all city
194 ordinances and that the outstanding requirements by city staff are completed. The motion
195 was seconded by Commissioner Fleming.
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197 There was no discussion regarding this motion.
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199 **CALL THE QUESTION:** The motion passed unanimously.
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F. Discretionary Items

Commissioner Gailey expressed concern regarding a free movement lane near Riverdale Road near 1500 West. Mr. Eggett discussed the functions of concrete barriers and continuous flow lanes. He explained there is a motorist discretion for continuous flow lanes. He explained this intersection is owned by UDOT (Utah Department of Transportation). Mr. Eggett stated he will make an inquiry to the public works director to see if he has any ideas regarding additional safety for that area.

G. Adjournment

MOTION: There being no further business to discuss, Commissioner Fleming moved to adjourn the meeting. Commissioner Wingfield seconded the motion; all voted in favor.

The meeting adjourned at 7:02 PM.

Blair Jones
Planning Commission Vice-Chair

Jackie Manning
City Recorder

Date Approved: **May 24, 2016**

DRAFT

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
May 24, 2016**

AGENDA ITEM: E1

SUBJECT: Infill Lot Development/Preliminary Residential Subdivision approval for A K Walker Subdivision, 850 West 4375 South, Riverdale, UT.

PRESENTER: Mike Eggett, Community Development

ACTION REQUESTED: Consideration of approval.

INFORMATION:

- a. Executive Summary
- b. Preliminary Subdivision Planner Review
- c. Engineer Letter
- d. Department Staff Reports
- e. Application
- f. Subdivision Drawings

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 5-24-2016

Petitioner: Cameron Scott

Summary of Proposed Action

Cameron Scott has applied for a five-lot subdivision preliminary review and approval of the proposed A K Walker Subdivision located at approximately 850 West 4375 South in a Residential R-2 zone. Additionally, because the proposed lots are just short of the minimum width requirements and based on being surrounded by other similar residential projects with stubbed roads to the property, the proposed development fits the criteria for consideration as an Infill Lot Development and, therefore, subject to City Code 10-12 "Infill Lots". A public hearing is not required to consider this proposal. Following the presentation and discussion of the proposal, the Planning Commission may provide preliminary approval of the proposed A K Walker Subdivision, preliminary approval with additional comments and/or conditions, or not provide preliminary approval of the proposed A K Walker Subdivision with the supporting findings of fact. Should the Planning Commission approve this preliminary subdivision proposal, this project would then advance the Planning Commission to consider final subdivision recommendation to the City Council for this proposal.

Title 10 Ordinance Guidelines (Code Reference)

This Infill Lots/Preliminary Residential Subdivision Plan review is regulated under City Codes 10-12 "Infill Lots" and 10-21 "Subdivisions", and is affected by City Codes 10-9B "Single Family Residential Zones (R-1-10, R-1-8, R-1-6, R-1-4.5)", 10-14 "Regulations Applicable to All Zones", and 10-15 "Parking, Loading Space; Vehicle Traffic and Access".

The proposed subdivision parcels currently are planned for the vacant and undeveloped lot, comprising 1.53 acres of property, which has historically been used as agricultural space primarily for horse grazing and usage. The property is owned by the Al & Donna Walker Family Trust. At current time, there are two stubbed dead ends roads across from each other that terminate at this lot; these two stubs are proposed to be connected as part of this proposed subdivision project. The proposed lots are slightly smaller than the minimum requirement in order to accommodate four new residential lots on this property. Due to this proposed scenario, this lot, when subdivided, cannot meet the minimum lot requirements. Additionally, this lot currently is surrounded by residential use homes and properties that would be similar to the types of residential uses proposed for these subdivision lots. Due to the above noted three considerations, this subdivision proposal meets criteria found within the Infill Lots ordinance to allow this lot to be subdivided. According to the applicant, once the lots have been subdivided they would then be available for purchase in the real estate marketplace for residential dwelling use.

Attached with this executive summary is a document entitled "Infill Lot Development/Preliminary Residential Subdivision Plan Review"; this is a supplementary document addressing items on the Preliminary Site Plan application. No major concerns were noted as part of the Planning and Zoning review. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, City Administrator, Fire Department, and Police Department.

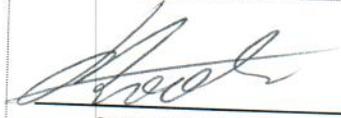
Staff would encourage the Planning Commission to review this matter, including concerns outlined herein,

and then discuss with the petitioner concerns raised by staff, in addition to any items of discussion and concern raised by the Planning Commission. Staff would then recommend that the Planning Commission act accordingly to make a motion to provide preliminary approval of the proposed A K Walker Subdivision, preliminary approval with additional comments and/or conditions, or not provide preliminary approval of the proposed A K Walker Subdivision with the supporting findings of fact.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Residential - Low Density" and this proposed project complies with this land use.

Legal Comments - City Attorney


Steve Brooks, Attorney

Administrative Comments - City Administrator


Rodger Worthen, City Administrator



Infill Lot Development/Preliminary Residential Subdivision Plan Review – A K Walker Subdivision Approximately 850 West 4375 South

Completed by Mike Eggett, Community Dev. Director on 5/17/2016

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this preliminary subdivision review and make a motion to approve the preliminary subdivision plans or not approve with appropriate findings and/or additional noted comments or concerns to be addressed by the developer. Items of consideration or note have been highlighted in yellow for potential discussion purposes. Should this preliminary subdivision plan receive an approval from the Planning Commission, a final subdivision review of this plan would be anticipated to be set for the next Planning Commission meeting.

Date Plan Submitted to City: <small>(Must be at least two weeks prior to Planning Commission meeting)</small>	April 27, 2016, updated on May 10, 2016
Date Application Submitted to City:	May 10, 2016
Date Fee Paid:	Paid on May 10, 2016 (see receipt for detail)
Subdivision/Site Plan – Preliminary Requirements	Departmental Review Comments
<u>COVER SHEET</u>	Provided
<u>Title Block</u>	
Project name and address	A K Walker Subdivision-1 st Amendment, 880 West 4400 South, Riverdale, Utah; lot addressing to be determined by staff and applicant
Owner’s name, address, and phone number	Donna Walker; address on file, phone number on file
Developer’s name, address, and phone number	Cameron Scott; address on file, phone number on file
Approving agency’s name and address: Questar, CenturyLink, Rocky Mountain Power	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; signature location identified with agencies shown
Consulting Engineer’s name, address, and phone number	Wall Engineering; 55 South Main, Fillmore, Utah 84631; 435-743-6800

Licensed Land Surveyor's name, address, phone number, signature, and seal	Landmark Surveying, Inc.; 4646 South 3500 West, #A-3, West Haven, Utah 84401; 801-731-4075; seal shown on plat, signature not shown at this point, anticipated
Date	Not shown on cover sheet
Revision block with date and initials	Revision block shown; <u>date and initial location not identified</u>
Sheet number and total sheets	Yes, this is provided (four sheets and plat provided)
<u>General</u>	
Street names	Yes, shown on drawing – 4375 South, 4400 South, and 900 West
Layouts of lots with lot numbers with U.S.P.O. approved addresses	Yes, Lots 1-5 shown
Adjacent tract ownership and tax identification numbers	Yes, shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is showing
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements shown; <u>may inquire about approval to cross or use adjacent easements, utilities, etc.</u>
Space for notes (3" x 3")	Yes, adequate space available
5' contours	<u>Contours not shown (as applicable)</u>
Public areas	Yes, location of sidewalks, right-of-way, curbing, and park strips along 4375 S. and 900 W. shown (on other sheets)
<u>Vicinity Map</u>	
Street names	Yes, shown
Site location	Yes, shown
North arrow	Yes, shown
Scale	Yes, shown
<i>PLAT SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	A K Walker Subdivision-1 st Amendment, 880 West 4400 South, Riverdale, Utah; lot addressing to be determined by staff and applicant

Approving agency's name and address: Questar, CenturyLink, Rocky Mountain Power	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; signature location identified with agencies shown
Consulting Engineer's name, address, and phone number	Wall Engineering; 55 South Main, Fillmore, Utah 84631; 435-743-6800
Consulting Engineer's stamp, signature, and license expiration date	No engineer stamp, signature, and license expiration dates showing; surveyor seal/stamp shown
Date	Yes – May 9, 2016
Names of approving agents with titles, stamps, signatures, and license expiration dates	No approving agent stamps showing at this time and may not be applicable
Names of approving departments (Attorney, City Engineer, Planning Commission, Mayor, Recorder)	Yes, shown
<u>Layout</u>	
Street Names	Yes, shown on drawing – 4375 South, 4400 South, and 900 West
Layouts of lots with lot numbers	Yes, Lots 1-5 shown
Bearings and distances for all property lines and section ties	Yes, shown
Boundary and legal description	Yes, shown
Adjacent tract ownership and tax identification numbers	Yes, shown
Scale (minimum 1"=50')	Yes, scale is showing
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	Yes, shown
Landscaping (location and type with area calculations)	Not shown or identified, discuss with applicant
Location of exterior lighting devices, signs, and outdoor advertising	None shown, if applicable
Location of underground tanks, dumpsters, etc	Not applicable
<u>Additional Information</u>	Defer to City Engineer for this information
Benchmark	Yes, shown
Basis of bearings	Yes, shown
Legend	Yes, shown
<i>PLAN AND PROFILE SHEETS</i>	Provided
<u>Title Block</u>	

Project name and address	A K Walker Subdivision-1 st Amendment, 880 West 4400 South, Riverdale, Utah; lot addressing to be determined by staff and applicant
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; signature location identified with agencies shown
Consulting Engineer's name, address, and phone number	Wall Engineering; 55 South Main, Fillmore, Utah 84631; 435-743-6800
Date	Not shown on improvements sheets
Scale	Yes, shown
Revision block with date and initials	Revision block shown; <u>date and initial location not identified</u>
Sheet number and total sheets	Yes, this is provided (four sheets and plat provided)
<u>General</u>	
North arrow	Yes, shown
Street names	Yes, shown on drawing – 4375 South, 4400 South, and 900 West
Lot numbers	Yes, Lots 1-5 shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Yes, shown
Existing natural ground	Yes, shown
<u>New and Existing Buildings</u>	
Height and Size	Existing house (1500 sq.ft.), and exist garage (3400 sq.ft.) on Lot 1, <u>height unknown</u> , some building debris on Lot 3; <u>New buildings information unknown at this time</u>
Location, setbacks, and all dimensions	Existing house (1500 sq.ft.), and exist garage (3400 sq.ft.) on Lot 1, <u>setbacks unknown</u> , some building debris on Lot 3; <u>New buildings information unknown at this time</u>
Type of construction	Existing house, and garage exist on Lot 1, <u>type of const not identified</u> , some building debris on Lot 3; <u>New buildings information unknown at this time</u>
Type of occupancy and proposed uses	R-2 Residential home uses
Show handicapped access	Not shown or identified, if applicable
<u>New and Existing Walls and Fences</u>	

Location, design, and height	Existing wire, wood, and vinyl fence around perimeter of subdivision identified, <u>unknown height; new fence or walls, if any, not identified (if applicable)</u>
Materials proposed for construction	None proposed at current time
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking	Cannot identify off-street parking availability at this time, but appear sufficient to meet code req of minimum of 2 spaces per residential lot; refer to City Code 10-15 for more;
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	<u>Points of lot ingress/egress unknown; may inquire on location of proposed building lot access points</u>
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Yes, this appears to be shown, identified on sheet three
Face of curb lines	Yes, this appears to be shown
Centerline slope	Yes, this is shown on page 2
Signing and striping	<u>Signing installation, if applicable, should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works;</u>
Light poles	<u>Location of existing or new street light poles not identified (if applicable)</u>
Street lights	<u>Location of existing or new street light poles not identified (if applicable)</u>
Street name signs	Yes, shown
Stop signs	Yes, shown
UDOT approval (if required for project)	Not applicable
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Sidewalk location shown on sheet two and typical street section (including sidewalk) shown on sheet three, concrete sidewalk detail also shown on sheet three; developer will be responsible for replacing any damaged sidewalk facilities due to project
Planting Strip (4.5' wide)	Shown on plan and identified on sheet three; <u>width not identified</u>

<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Typical curb and gutter detail shown on sheet three; <u>defer to City Engineer</u>
Slope of gutter (min 0.5%)	Typical curb and gutter detail shown on sheet three; <u>defer to City Engineer</u>
Manholes	Existing and new manholes identified; typical manhole detail shown on sheet three; <u>defer to City Engineer</u>
Invert elevations	Typical curb and gutter detail shown on sheet three; <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Yes, shown; <u>defer to City Engineer</u>
Location of catch basins (every 500' to 800')	<u>None shown; defer to City Engineer</u>
Ditches, location and ownership	None project site
Approval to pipe, reroute or use	<u>Not shown or noted, if approval is necessary</u>
Calculations for retention system	<u>Discuss with developer to verify retention needs for project; defer to City Engineer</u>
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing and new manholes identified; typical manhole detail shown on sheet three; <u>defer to City Engineer</u>
Invert elevations	Appear to be shown; <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	<u>Will need to be installed in conformance to size, type, and slope standard of Riverdale City; defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	<u>Will need to be installed in conformance to size, type, and slope standard of Riverdale City; defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Water meter locations identified; location of existing fire hydrant shown; <u>location of valves not shown; will need to be installed in conformance to size, type, and slope standard of Riverdale City; Defer to City Engineer</u>
<u>New and Existing Gas Lines</u>	
Size and type	Location shown; size and type not shown
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Location of existing power box shown; location of other lines, size, and type not shown
Location of power poles	Location of existing power box shown; other power pole locations not shown

<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	New (if any) and existing not currently shown
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Not currently shown
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Yes, shown on page two as "Typical Street Section"
Cross section of curb and gutter (standard 30" high back)	Yes, shown on page two as "Typical Section – 30" Curb & Gutter"
Gutter inlet box with bicycle safe grate	<u>No new inlet boxes shown to be provided</u>
Cleanout box	<u>No new cleanout boxes shown to be provided</u>
Thrust blocking	Yes, shown on sheet three
Special energy dissipating or drop manholes	None shown, if applicable
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical report has been provided for this site
Drainage and runoff calculations	<u>Discuss with developer to verify drainage for project; defer to City Engineer</u>
Water right transfer documentation	Not provided (not needed for this project)
Copy of protective covenants, codes, and regulations for development	Not applicable
Three (3) total 11" X 17" copies of plan drawings, three (3) large full set of plan drawings, and one digital full set copy of plan drawings	Provided
<u>OTHER ITEMS</u>	
Building elevation renderings	None provided at this point, unknown design
Zoning compliance	R-2 zone allows for a single home per 8,000 sq. ft.; <u>infill lot development criteria to be applied to this subdivision, due to shorter minimum lot width than required, based on criteria in City Code 10-12 seems to be a candidate for infill lot development</u>
Use compliance	R-2 zone allows for a single home per 8,000 sq. ft.
Engineering comments and letter of approval recommendation	Engineering comments provided, along with other department heads comments for this project
All Planning Commission and City Staff conditions for approval have been met	Preliminary review scheduled for May 24, 2016 before Planning Commission

16 May 2016

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **AK Walker Subdivision – 1st Amendment**
Subj: Plat and Improvement Drawings Review

Dear Mike,

I have reviewed the above referenced Plat and the Improvement drawings and submit the following review comments, which should to be considered:

General Comment:

1. An **electronic copy** of the completed Plat & Improvement Plan drawings must be submitted to the Public Work Department via our office for record keeping upon completion and approval of the subdivision drawings.

Plat:

1. The Plat “Boundary” fails to close by approximately 0.52’.
2. The lot addresses are needed for all five (5) subdivision lots. The addresses can be placed on the individual lots or in a table on the Plat.
3. The “North Arrow” is facing the wrong direction and should be rotated.
4. The survey “Basis of Bearing” is needed to be placed on the Plat drawing.
5. A 10’ wide public utility easement is needed along the frontage of lots # 2 through Lot #5.

Improvement Drawings:

1. All deteriorated, damaged or missing surface improvements surrounding the perimeter of the subdivision development will need to be replaced or installed, i.e., curb and gutter, sidewalk, landscaping park strip improvements, street lights, fencing, etc.

2. A roadway "Centerline" profile design needs to be included with the plan view drawing. It appears the new curb & gutter across the frontage of lot #2 through lot #5 will drain the storm water to the East. The plan & profile drawing will need to show the existing roadway curb & gutter elevations and flow directions of the gutter flow line grades to the East and to the West.
3. The City standard minimum curb & gutter slope is 0.5%. It appears the new South - curb & gutter slope for the new subdivision area will be very close to this minimum. The new North - curb & gutter slope appears to be okay. This will be further reviewed with the completion of the Plan & Profile drawing.
4. The existing wooden fences along the East and West property lines will need to be lower to 42" in the front yard setback area.
5. The water meters should be located near the center of the lots. The standard culinary service waterline diameter is 3/4" rather than the 1" diameter that has been shown.
6. The new 4' diameter sanitary sewer manhole should be moved to the west to line-up with the center of the lots #3 & #4. All sanitary sewer service laterals will need to be connected down gradient of the new manhole.
7. The sanitary sewer laterals should be placed at minimum 10' down gradient from the water meter location. The sanitary sewer lateral will need to be Pvc and installed with a pipe slope of 2% or greater.
8. The new water main pipe will need to be 8" in diameter and be constructed of C-900 pvc, Dr. 18 pipe materials with locating wire and location tape installed in the pipe trench and backfilled with appropriate bedding and backfill materials. The water main pipeline will need to be a "hot tap" connection to the existing water main on 900 West. Both connection ends (East & West) may require a pipe reducer prior to the connection with the existing culinary water mainlines.
9. A minimum pavement depth of 8" of roadbase and 3" of bituminous asphalt will be required. No recycled roadbase may be used in the construction of the roadway improvements.
10. The developer will need to have a "Storm Water & Pollution Prevent Plan" registered with the State of Utah prior to construction.

Should you have any questions feel free to contact our office for clarifications.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.



N. Scott Nelson, P.E.

City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official and Inspector

DEPARTMENTAL STAFF REPORTS – 5/11/2016 through 5/16/2016

From: Shawn Douglas
Sent: Monday, May 16, 2016 8:14 AM
To: Mike Eggett
Subject: RE: A K Walker

Mike the following are my review items for the Walker Subdivision. Thanks

- 1-Hot tap required on water line connection.
- 2-Remove notes pertaining to Ogden City.
- 3-Provide elevations and flow patterns for existing curb and gutter.
- 4-Chip seal required within one year of asphalt installation.
- 5-Water services are only required to be ¾ inch service.
- 6-Drawings on page 2 should be Riverdale City Specifications.
- 7-Storm Water Construction Drawing should show locations of required BMPS, designate a single construction entrance and show a BMP for portable restroom.

Shawn Douglas

Public Works Director
801/394/5541 ext.1217
Sdouglas@Riverdalecity.com

From: Rodger Worthen (City Administrator)
Sent: Saturday, May 14, 2016 3:04 PM
To: Mike Eggett
Subject: RE: A K Walker

Mike,

No concerns on my part for this subdivision. I would suggest that if the need for utility asphalt cuts into existing roadway creates damages to said pavement beyond a simple road cut that the city may want to overlay the entire road section and bill the contractor for his/her sq. footage of impact. The city would then pay for the remaining asphalt footage...totally up to Shawn Douglas though.

Thanks

Rodger W.

From: Jared Sholly
Sent: Monday, May 16, 2016 12:11 PM
To: Mike Eggett
Subject: RE: A K Walker

I don't see any issues.

Jared Sholly
Fire Chief
Riverdale City Fire Department
Cell: 801-628-6562
Office: 801-394-7481

From: Scott Brenkman (Police Lieutenant)
Sent: Wednesday, May 11, 2016 2:56 PM
To: Mike Eggett
Subject: RE: A K Walker

I have no concerns or comments with these plans.

Lt. Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2016-04 DATE SUBMITTED: May 10, 2016

APPLICANT'S NAME: Cameron Scott

ADDRESS: On File

PHONE: On File TAX I.D. No: N/A

ADDRESS OF SITE: 880W 4400 S. Riverdale, UT 84405

APPLICANT'S INTEREST: Buyer

Application is hereby made to the Riverdale City Planning Commission requesting that a residential subdivision consisting of 5 lots (number of lots) lots be approved on 1.53 ac (sq. ft./acreage) of property in the R-2 zone in accordance with the attached site plan.

R. Cameron Scott
Signature of Applicant

Donna L. Walker (Trustee)
Signature of Property Owner

I authorize Cameron Scott to act as my representative in all matters relating to this application.

Donna L. Walker (Trustee)
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$100 per lot/unit
Fee: \$ 500.00 Date paid: May 10, 2016

Planning Commission sets public hearing: Yes No Date of Public Hearing: _____

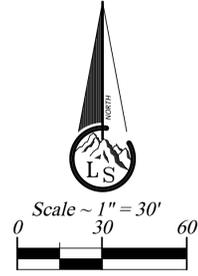
Planning Commission scheduled to hear this application for site plan approval on:
Date: 5/24/2016 Decision of Commission: _____

City Council sets public hearing: Yes No Date of Public Hearing: _____

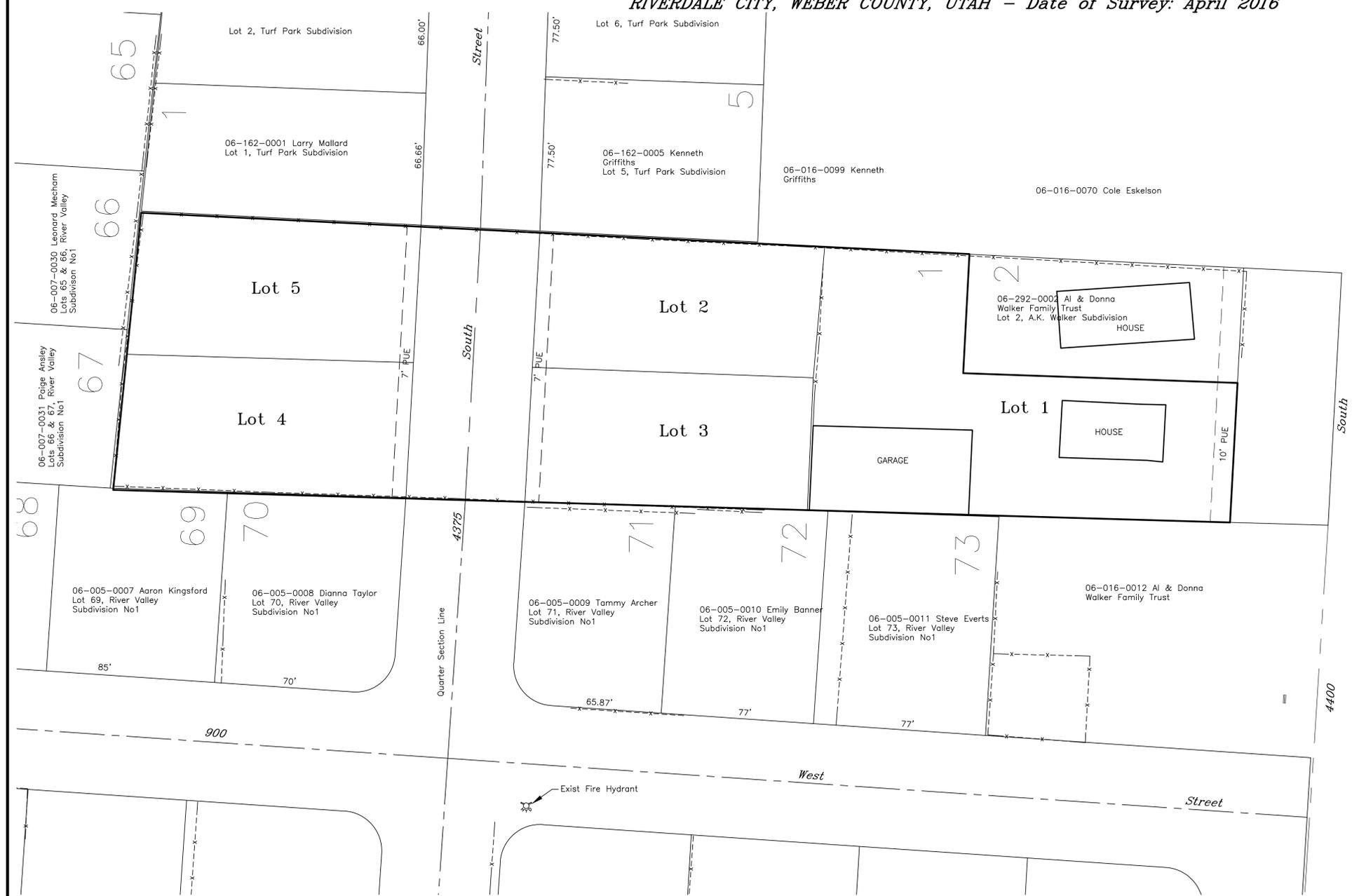
City Council scheduled to hear this application for site plan approval on:
Date: _____ Decision of Council: _____

A K WALKER SUBDIVISION-1st Amendment

PART OF THE WEST 1/2 OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN
RIVERDALE CITY, WEBER COUNTY, UTAH - Date of Survey: April 2016



- GENERAL NOTES**
1. EXISTING IMPROVEMENTS ARE SHOWN AS ACCURATELY AS POSSIBLE ACCORDING TO AVAILABLE INFORMATION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS. SHOULD IT BE NECESSARY TO CUT, BREAK, REMOVE, OR DAMAGE ANY OF THE EXISTING IMPROVEMENTS THE CONTRACTOR SHALL REPAIR, REPLACE, OR CONSTRUCT NEW IMPROVEMENTS IN ACCORDANCE WITH RIVERDALE CITY REQUIREMENTS.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH RIVERDALE CITY STANDARDS AND SPECIFICATIONS. ANY DEVIATION FROM THOSE STANDARDS SHALL BE APPROVED IN ADVANCE OF CONSTRUCTION BY A REPRESENTATIVE OF RIVERDALE CITY.
 3. THERE IS NO SECONDARY WATER IN THIS SUBDIVISION.
 4. AT THE TIME OF CONSTRUCTION, RIVERDALE CITY MAY DETERMINE, BASED ON PROFESSIONAL EXPERIENCE AND JUDGMENT AND AT ITS SOLE DISCRETION, THE NEED FOR THE OWNER/DEVELOPER TO PAY FOR, REMOVE, AND REPLACE ANY EXISTING SUBSTANDARD IMPROVEMENTS WHERE THE NEW IMPROVEMENTS TIE TO THE EXISTING IMPROVEMENTS.
 5. TRENCHING AND CONNECTION WITHIN THE EXISTING ROADWAY WILL ONLY BE ALLOWED DURING DAYLIGHT HOURS. THE WORK AREA MUST BE SECURED BACKFILLED AND CLEARED PRIOR TO REMOVAL OF ANY TRAFFIC OR PEDESTRIAN CONTROL DEVICES.
 6. AVAILABLE GAS SERVICES ARE UNDERGROUND IN THIS AREA. THE INSTALLATION OF THE NEW GAS SERVICE SHALL BE UNDER THE DIRECTION OF QUESTAR GAS COMPANY.
 7. ALL WORK ON CULINARY WATER AND SANITARY SEWER SYSTEMS SHALL BE IN ACCORDANCE WITH RIVERDALE CITY STANDARDS AND REQUIREMENTS. THE LOCATION OF THE TERMINAL END OF THE EXISTING CULINARY WATER AND SEWER IS NOT KNOWN. IT IS ASSUMED THAT THEY ARE STUBBED TO THE END OF THE EXISTING ASPHALT STREET, HOWEVER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXTEND THE CULINARY WATER AND SEWER LINES AS NEEDED TO PROPERLY TIE TO THE EXISTING LINES.
 8. THE PROJECT SITE SHALL BE CLEARED AND GRUBBED TO 6 INCH DEPTH PRIOR TO ANY EXCAVATION OF TRENCHES OR CONSTRUCTION OF IMPROVEMENTS.
 9. REMOVE THE EXISTING FENCING TO 6 INCHES BEHIND THE NEW STREET RIGHT OF WAY LINE AND REPAIR THE EXISTING FENCE TO THE SAME CONDITION THAT IT IS CURRENTLY CONSTRUCTED. SAW CUT EXISTING ASPHALT AND IF NECESSARY THE EXISTING CONCRETE CURB, GUTTER AND SIDEWALK TO FORM A VERTICAL JOINT FOR NEW ASPHALT AND CURB, GUTTER AND SIDEWALK TO MATCH.
 10. ROAD PROFILE VIEW IS NOT SHOWN. THE ROAD IS TO BE CONSTRUCTED TO MATCH THE EXISTING CURB, GUTTER, SIDEWALK, AND ASPHALT WITH A CONSTANT GRADE BETWEEN EACH END SO THAT STORM WATER WILL DRAIN FROM THE WEST END OF THE PROJECT TO THE EAST END OF THE PROJECT.
 11. THE EXISTING FENCE IS TO BE REMOVED TO A MINIMUM OF 6 INCHES BEHIND THE RIGHT OF WAY LINE OR TO A LOCATION SPECIFIED BY THE OWNER OF THE FENCE. THE NEW END POSTS AND FENCE HEIGHT AND MATERIAL SHALL MATCH THE EXISTING FENCE HEIGHT AND MATERIAL.



RIVERDALE CITY ENGINEER
I hereby certify that the required public improvement standards and drawings for this subdivision conform with City standards and the amount of the financial guarantee is sufficient for the installation of these improvements.
Signed this ____ day of _____, 20__.

ROCKY MOUNTAIN POWER COMPANY
The undersigned representative of Rocky Mountain power hereby approves this plat on this ____ day of _____, 20__.

RIVERDALE CITY COUNCIL ACCEPTANCE
This is to certify that this subdivision plat, the dedication of streets, easements, and other public ways and financial guarantee of public improvements associated with this subdivision are hereby approved and accepted by the Riverdale City Council this ____ day of _____, 20__.

TELEPHONE COMPANY
Approved this ____ day of _____, 20__.

Attest:
Mayor, Riverdale City
Title: Riverdale City Recorder

Service Provider Name:
QUESTAR GAS COMPANY

RIVERDALE CITY PLANNING COMMISSION APPROVAL
This is to certify that this subdivision plat was duly approved by the City of Riverdale Planning Commission on the ____ day of _____, 20__.

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require other easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute accepting, approval or acknowledgement of any terms contained in the plat, including those set forth in the owners dedication and the notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Questar's right-of-way department at 1-800-366-8532.

Chairman, Riverdale City Planning Commission

Approved this ____ day of _____, 20__.

RIVERDALE CITY ATTORNEY
I hereby certify that the requirements of all applicable statutes and ordinances prerequisite to approval by the attorney of the foregoing plat and dedication have been complied with. This ____ day of _____, 20__.

Name and Title:

Signature

Civil Engineer:
Wall Engineering, 55 South Main, Fillmore, UT 84631
435-743-6800

Owner:
Donna Walker, 880 W 4400 S, Riverdale, UT 84405
801-389-6222
Approving Entity:
Riverdale City, 4600 South Weber River Drive
Riverdale City, UT 84405



Landmark Surveying, Inc.
A Complete Land Surveying Service
www.LandmarkSurveyUtah.com
4646 South 3500 West - #A-3
West Haven, UT 84401
801-731-4075

DEVELOPER: Cameron Scott
Address: 976 North Skipton Drive, North Salt Lake, UT 84054 (512) 563-9450
Project Address: 880 W 4400 S, Riverdale, UT 84405

1 of 4

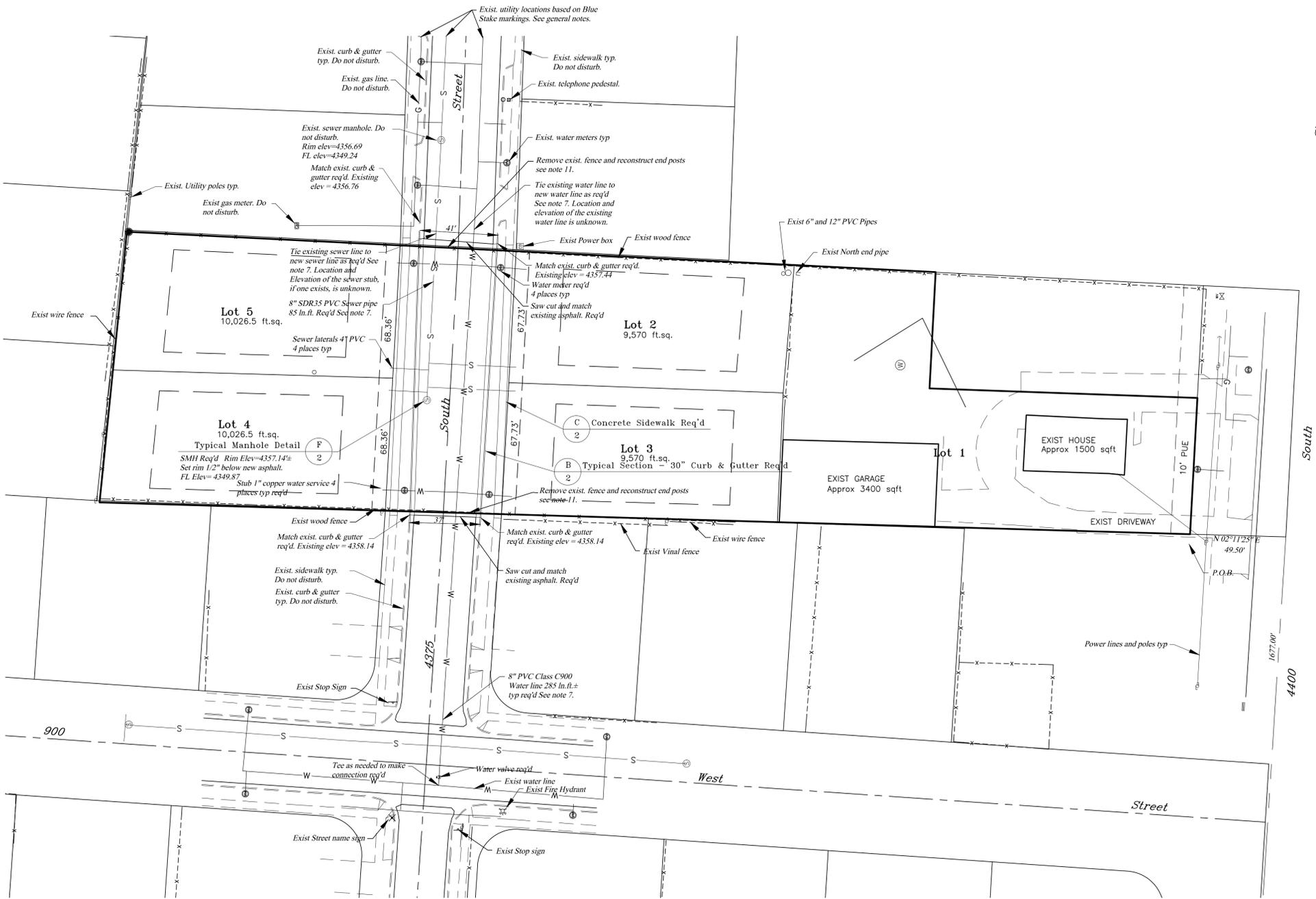
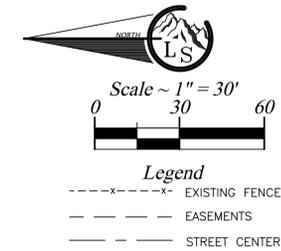
COVER SHEET

Revisions

W 1/2 of Section 7, Township 5 North,
Range 1 West, Salt Lake Base and Meridian.

DRAWN BY: EDR
CHECKED BY: ...
DATE:
FILE: 3617

A K WALKER SUBDIVISION-1st Amendment



3617 Cameron Scott, subdivision/Sheet, Improvement

**Know what's below.
Call 888 before you dig.**

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

Landmark Surveying, Inc.
A Complete Land Surveying Service
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Project Address: 880 W 4400 S, Riverdale, UT 84405

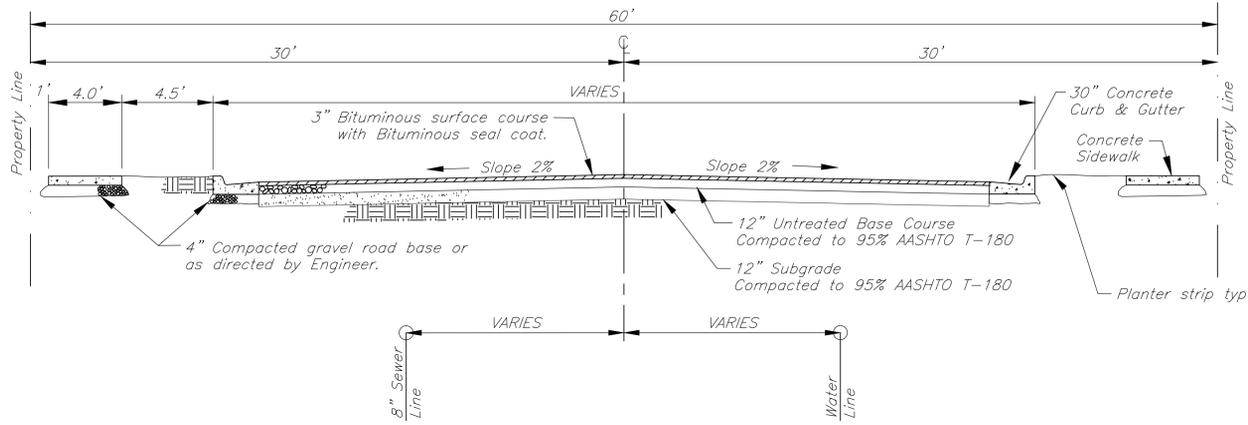
2 of 4

W 1/2 of Section 7, Township 5 North,
Range 1 West, Salt Lake Base and Meridian.

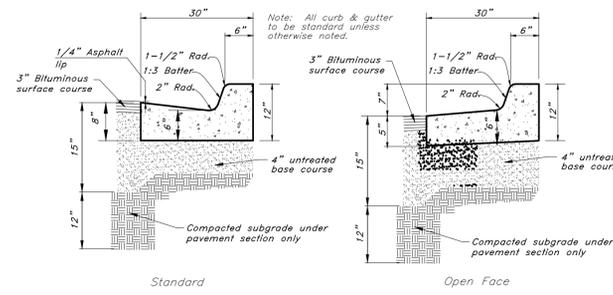
Revisions

DATE: _____
FILE: 3617

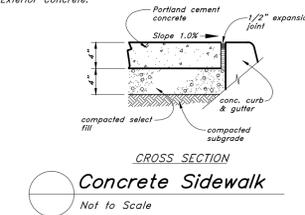
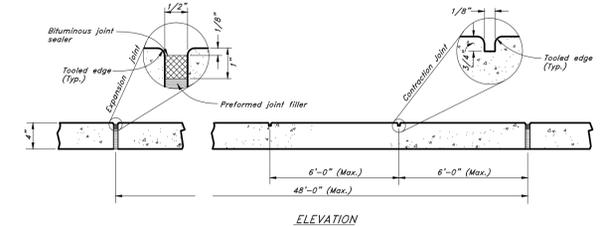
Approving Entity:
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Riverdale City, UT 84405
Civil Engineer:
Wall Engineering, 55 South Main, Fillmore, UT 84631
435-743-6800
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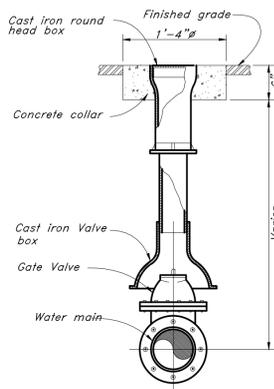
Typical Street Section
Not to Scale



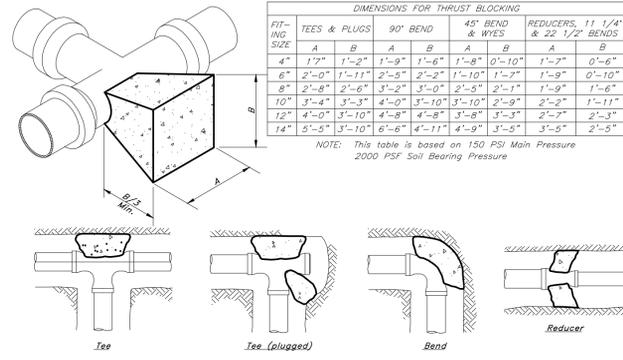
Typical Section - 30" Curb & Gutter
Not to Scale



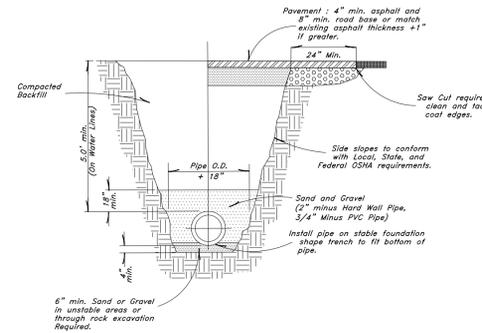
Concrete Sidewalk
Not to Scale



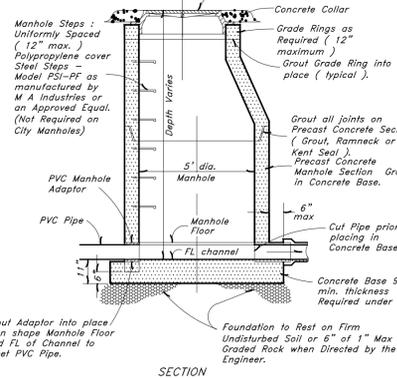
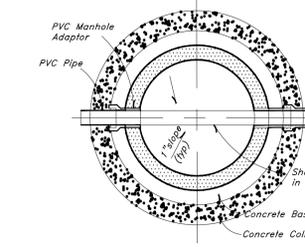
Typical Gate Valve
Not to Scale



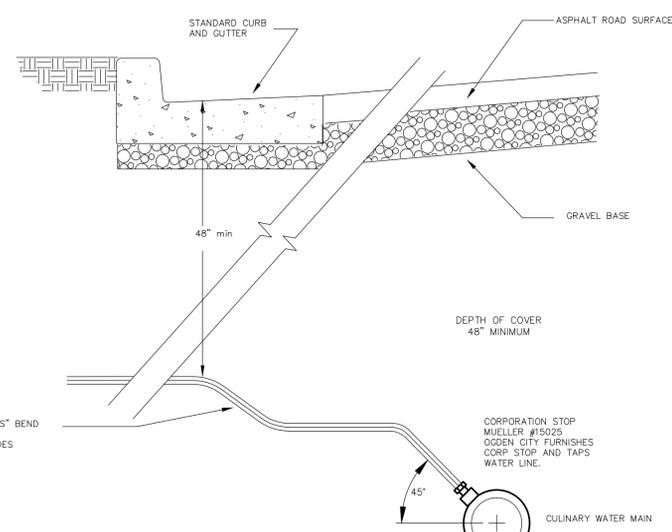
Thrust Blocking Details
Not to Scale



Typical Trench Detail
Not to Scale



Typical Manhole Detail
Not to Scale



Typical 1" Water Line Connection
Not to Scale

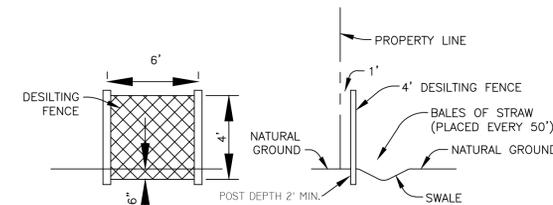
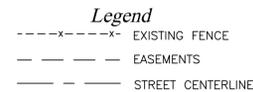
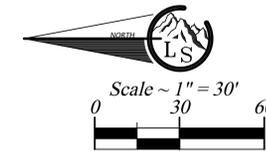
General Note:
1. The diameter of the Concrete collars shall be constructed in accordance with the requirements of Riverdale City.

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West Haven, UT 84401
801-731-4075

DEVELOPER: Cameron Scott
Address: 976 North Skipton Drive, North Salt Lake, UT 84054 (512) 563-9450
Project Address: 880 W 4400 S, Riverdale, UT 84405

W 1/2 of Section 7, Township 5 North, Range 1 West, Salt Lake Base and Meridian.	Detail Sheet
Revisions	DRAWN BY: EDR
	CHECKED BY: ...
	DATE:
	FILE: 3617

A K WALKER SUBDIVISION-1st Amendment

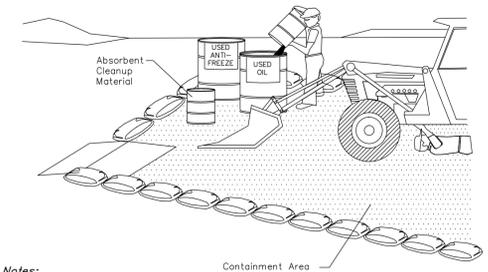


PRIOR TO ANY CONSTRUCTION A DESILTING FENCE AND SWALE SHALL BE INSTALLED AS SHOWN TO BE MAINTAINED DAILY DURING CONSTRUCTION.

DESILTING FENCE DETAIL
Not to Scale

- WATER POLLUTION PREVENTION NOTES:
1. THE FOLLOWING PROVISIONS WILL BE REQUIRED, AS A MINIMUM, FOR ANY CONSTRUCTION, CLEARING, GRADING, OR OTHER DISTURBANCE OF THE NATIVE GROUND. OTHER REQUIREMENTS MEETING THE POLLUTION PREVENTION PLAN MAY BE IMPOSED BY THE GOVERNING AGENCY OR THEIR REPRESENTATIVE, AS NEEDED PER SITE CONDITIONS.
 2. SILT FENCING WILL BE REQUIRED AT ANY DOWNGRADE LOCATION ON THE SITE, WHERE IT IS DETERMINED THAT FLOWS FROM THE SITE WOULD IMPACT AN EXISTING DRAINAGE, IRRIGATION OR NEIGHBORING PROPERTY. SUCH FENCING SHALL BE CONSTRUCTED WITH A COLLECTION SWALE ON THE UPGRADE SIDE OF THE FENCING FOR COLLECTION OF SEDIMENTS.
 3. A STAGING AREA FOR CONSTRUCTION EQUIPMENT AND MATERIALS WILL BE REQUIRED AT EVERY SITE. THE STAGING AREA SHALL BE SUFFICIENTLY REMOVED FROM ANY IRRIGATION, DRAINAGE OR ROADWAY AND GRADED TO LIMIT RUNOFF INTO ANY WATERWAY OR EXISTING ROADWAY. ANY AREA OF THE PROPERTY BEING USED FOR EQUIPMENT STAGING OR STORAGE SHALL BE GRUBBED TO 6 INCHES MINIMUM, THE TOPSOIL TO BE STORED ON SITE, AND REPLACED AT THE COMPLETION OF THE PROJECT.
 4. A "CLEANUP" AREA WILL BE REQUIRED AT THE SITE, FOR THE REMOVAL OF MUD OR OTHER DEBRIS THAT ACCUMULATES ON CONSTRUCTION EQUIPMENT, PRIOR TO LEAVING THE SITE. THE CLEANUP AREA SHALL BE CONSTRUCTED AND GRADED TO LIMIT CONTAMINATION TO ADJACENT PROPERTIES, STREETS OR WATERWAYS BY SILT, MUD OR OTHER POLLUTANTS.
 5. A FILTERING METHOD (STRAW BALES, FILTERING FABRIC OR AN APPROVED EQUAL) WILL BE REQUIRED IN ANY DRAINAGE'S THAT MAY BE IMPACTED BY THE CONSTRUCTION. THE FILTERING WILL BE INSTALLED TO INTERCEPT THE FLOWS AWAY FROM THE SITE WHERE IT IS DETERMINED THAT THE CONSTRUCTION WOULD DAMAGE OR DEGRADE THE QUALITY OF WATER FLOWS.
 6. CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED AS SHOWN HEREON OR AN APPROVED MECHANICAL RETAINMENT POND MAY BE USED AND STORED ON SITE. IF A MECHANICAL RETAINMENT POND IS USED THE APPLICABLE NOTES FROM THE CONCRETE WASTE MANAGEMENT DETAIL SHALL APPLY.

1. IN CASE OF EMERGENCY, CALL _____ AT ()
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING POTENTIAL RAIN OR SNOW RUNOFF EVENTS. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN OR RUNOFF IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE INSPECTOR IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAIN OR RUNOFF EVENT.
6. EXCEPT AS OTHERWISE APPROVED BY THE INSPECTOR, ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE BEGINNING OF EACH WORKING DAY OR ON WEEKENDS WHEN THE 5 DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
7. ALL LOOSE SOIL AND DEBRIS, WHICH MAY CREATE A POTENTIAL HAZARD TO OFF SITE PROPERTY, SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE INSPECTOR.
8. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE DEVELOPER'S ENGINEER.
9. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE WITHOUT THE APPROVAL OF THE INSPECTOR.
10. EROSION CONTROL DEVICES WILL BE MODIFIED AS NEED AS THE PROJECT PROGRESSES, AND THE PLANS OF THESE CHANGES SUBMITTED FOR APPROVAL AS REQUIRED.



Notes:

1. Leaking vehicles and equipment shall not be allowed on-site. Equipment and vehicles shall be inspected frequently for leaks and shall be repaired immediately. Clean up spills and leaks promptly with absorbent materials; do not flush with water.
2. Vehicles and equipment shall be maintained, and repaired on-site only in designated areas. Prevent run-on and run-off from designated areas.
3. Containment devices shall be provided and areas shall be covered if necessary.
4. Designate on-site vehicle and equipment maintenance areas, away from storm drain inlets and watercourses.
5. Always use secondary containment, such as a drain pan or drop cloth, to catch spills and leaks when removing or changing fluids. Legally dispose of used oils, fluids, and lubricants.
6. Provide spill containment dikes or secondary containment around stored oil, fuel, and chemical drums.
7. Maintain an adequate supply of absorbent spill cleanup materials in designated area.

Equipment Repair/Maintenance

Landmark Surveying, Inc.
A Complete Land Surveying Service
www.LandmarkSurveyUtah.com

4646 South 3500 West - #A-3
West Haven, UT 84401
801-731-4075

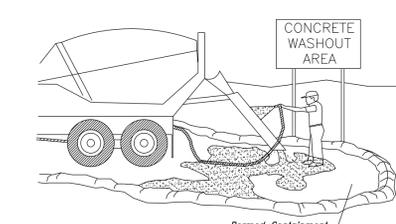
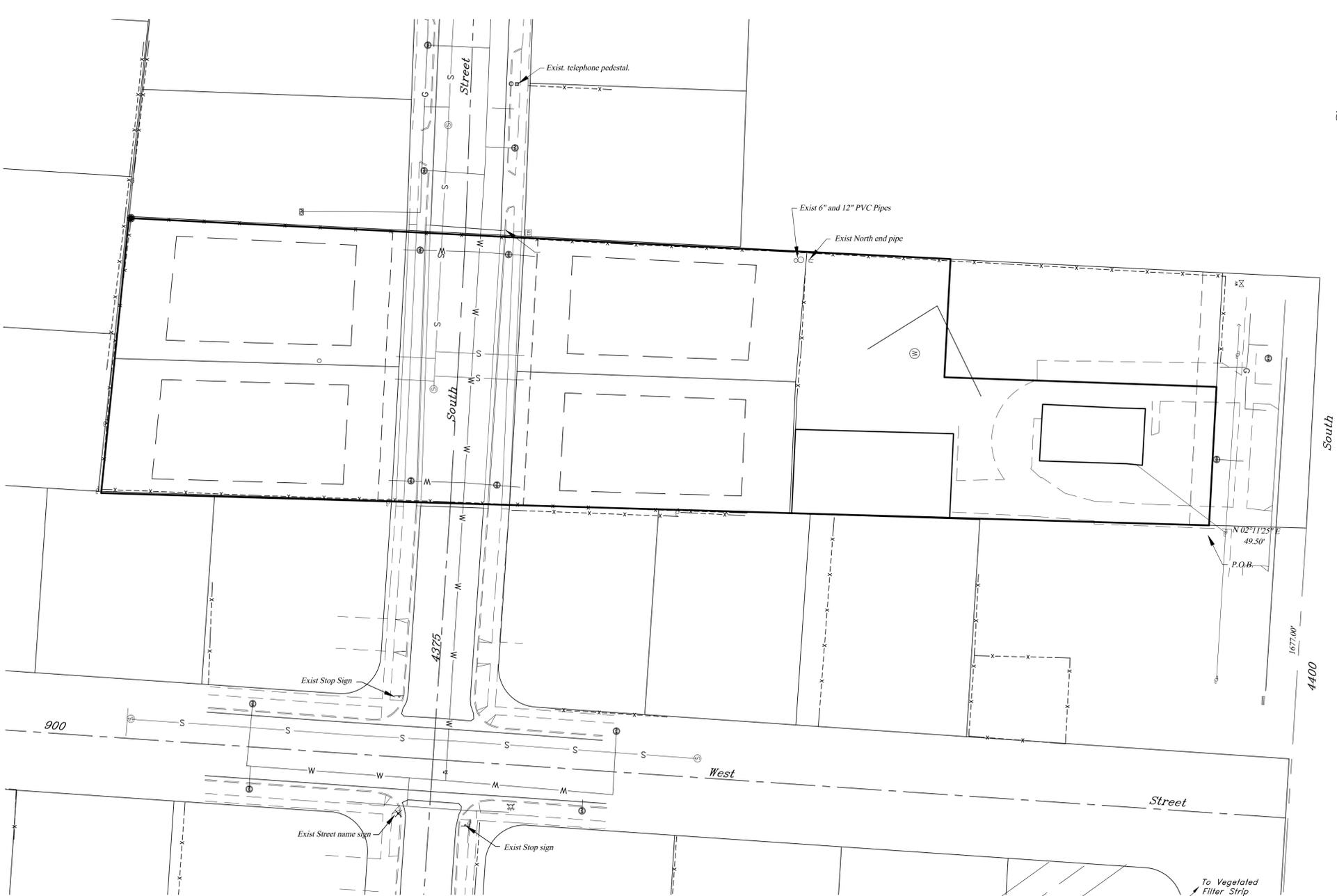
DEVELOPER: Cameron Scott
Address: 976 North Skipton Drive, North Salt Lake, UT 84054 (512) 563-9450
Project Address: 880 W 4400 S, Riverdale, UT 84405

4 of 4

W 1/2 of Section 7, Township 5 North, Range 1 West, Salt Lake Base and Meridian.	SWPP
Revisions	DRAWN BY: EDR
	CHECKED BY: ...
	DATE:
	FILE: 3617

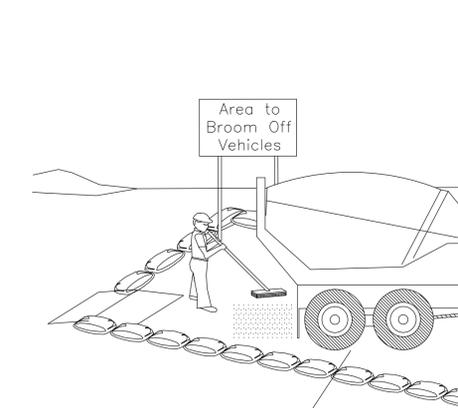
Know what's below.
Call 800 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



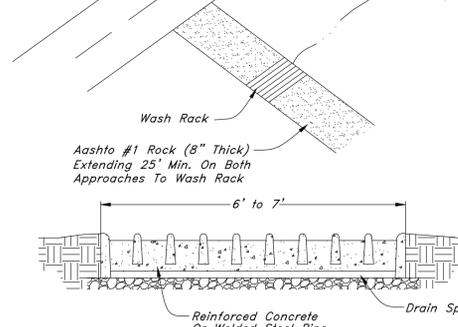
- Notes:
1. Excess and waste concrete shall not be washed into the street or into a drainage system.
 2. For washout of concrete and mortar products, a designated containment facility of sufficient capacity to retain liquid and solid waste shall be provided on site.
 3. Slurry from concrete and asphalt saw cutting shall be vacuumed or contained, dried, picked up and disposed of properly.

Concrete Waste Management



- Notes:
1. At the end of each construction day, all sediment deposited on paved roadways and broom off area shall be removed and returned to the construction site.

Construction Entrance With Broom Off Area



- Notes:
- Maintenance: Rock construction entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile of rock material shall be maintained on site for this purpose. Drain space under wash rack shall be kept open at all times. Damage to the wash rack shall be repaired prior to further use of the rack. At the end of each construction day, all sediment deposited on paved roadways shall be removed and returned to the construction site.

Rock Construction Entrance With Wash Rack

As an alternate at contractors option, rock and wash rack may be replaced with cobble stone 4-8 inches in diameter. Additional rock shall be available near the entrance to replace any rocks that are lost.

All trucks and other construction traffic must drive out of the site through the stabilized construction entrance.

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
May 24, 2016**

AGENDA ITEM: E2

SUBJECT: Consideration of Infill Lot Development/Residential Subdivision Approval for Hill Family Subdivision, 300 W Highland Drive, Riverdale, UT.

PRESENTER: Mike Eggett, Community Development

ACTION REQUESTED: Consideration of approval.

INFORMATION:

- a. Executive Summary
- b. Preliminary Subdivision Planner Review
- c. Engineer Letter
- d. Engineer Concern
- e. Department Staff Reports
- f. Application
- g. Subdivision Drawings

[BACK TO AGENDA](#)



Planning Commission
Executive Summary

For the Commission meeting on: 5-24-2016

Petitioner: Brent Hill representing the Hill Family

Summary of Proposed Action

Brent Hill and the Hill Family have applied for a Small Subdivision review and approval of the proposed Hill Family two-lot subdivision located at approximately 300 West and Highland Drive in a Residential R-1-10 zone. Small subdivision applications are governed by City Code 10-21-12 "Small Subdivisions; Special Provisions" when certain criteria have been met as part of the application. Additionally, because the proposed development fits the criteria for consideration as an Infill Lot Development, this project is also considered to be subject to City Code 10-12 "Infill Lots". A public hearing is not required to consider this proposal. Following the presentation and discussion of the proposal, the Planning Commission may make a recommendation to the City Council for approval of the proposed Hill Family Subdivision, recommendation to the City Council with additional comments and/or conditions, or not to recommend City Council approval of the proposed Hill Family Subdivision with the supporting findings of fact. Should the Planning Commission recommend this matter for approval to the City Council, this project proposal would then advance for approval consideration by the City Council.

Title 10 Ordinance Guidelines (Code Reference)

This Small Subdivision/Site Plan review is regulated under City Codes 10-12 "Infill Lots" and 10-21 "Subdivisions", specifically 10-21-12 "Small Subdivisions; Special Provisions", and is affected by City Codes 10-9B "Single Family Residential Zones (R-1-10, R-1-8, R-1-6, R-1-4.5)", 10-14 "Regulations Applicable to All Zones", and 10-15 "Parking, Loading Space; Vehicle Traffic and Access".

The Small Subdivisions section of the City Code states specifically:

10-21-12: SMALL SUBDIVISIONS; SPECIAL PROVISIONS:

A preliminary plan shall be required for all subdivisions but under the conditions listed below, approval of the preliminary plan by the planning commission and by the city council shall be authorization for the subdivider to sell lots within the subdivision covered by the preliminary plan by metes and bounds, and the requirements of a final plan shall be waived. When final plans are not required, the subdivider shall provide such improvements on existing streets within the subdivision as shall be required by the city council. Final plans shall not be required where all of the following conditions exist:

- A. The subdivision consists of not more than ten (10) lots.
- B. The subdivision does not require the dedication of any land for street or other public purposes.
- C. The subdivision is not traversed by the mapped lines of a proposed street or a street to be widened as shown on the major street plan.
- D. Each of the lots in the subdivision meets the frontage, width and area requirements of this title, or has

been granted a variance from such requirements by the board of adjustment. (1985 Code § 19-40-11)

The proposed subdivision is currently planned for a vacant and undeveloped lot owned by Earl F Hill Successor Trustee that comprises 0.44 acres. The proposed lots taper into the corner to the south of the proposed subdivision. Due to this tapering in the south, this lot cannot meet the minimum lot requirements and meets criteria found within the Infill Lots ordinance to allow this lot to be subdivided. There are many other lots in this geographical area of the city which have been allowed to develop in similar fashion as infill lots. According to the applicant, once the lots have been subdivided they would then be available for purchase in the real estate marketplace for residential dwelling use.

Attached with this executive summary is a document entitled "Infill Lot Development/Residential Small Subdivision Plan Review"; this is a supplementary document addressing items on the Preliminary Site Plan application and as directed by 10-21-12. Aside from the need to receive a geotechnical report for this project, no other major concerns were noted as part of the Planning and Zoning review. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, Fire Department, and Police Department.

Staff would encourage the Planning Commission to review this matter, including concerns outlined herein, and then discuss with the petitioner concerns raised by staff, in addition to any items of discussion and concern raised by the Planning Commission. Staff would then recommend that the Planning Commission act accordingly to make a motion showing support, support with additional comment and/or conditions, or not showing support for a recommendation to the City Council for approval of the proposed Hill Family Subdivision, based upon sufficient findings of fact to support the Planning Commission action.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Residential - Low Density" and this proposed project complies with this land use.

Legal Comments - City Attorney



Steve Brooks, Attorney

Administrative Comments - City Administrator

Rodger Worthen, City Administrator



Infill Lot Development/Residential Small Subdivision Plan Review – Hill Family Subdivision Approximately 300 West Highland Drive

Completed by Mike Eggett, Community Dev. Director on 5/17/2016

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this small subdivision review and approve the proposal accordingly if applicant has satisfied approval criteria with appropriate findings and/or additional noted comments or concerns to be addressed by the developer. Items of consideration or note have been highlighted in yellow for potential discussion purposes. Please note due to City Code 10-21-12, applicant is only required to provide a preliminary plan to Planning Commission and City Council for review and approval purposes with this small subdivision.

Date Plan Submitted to City: <small>(Must be at least two weeks prior to Planning Commission meeting)</small>	May 10, 2016
Date Application Submitted to City:	May 10, 2016
Date Fee Paid:	Paid on May 10, 2016 (see receipt for detail)
Small Subdivision/Site Plan – Preliminary Requirements	Departmental Review Comments
<i>PLAT SHEET</i>	
<u>Title Block</u>	
Project name and address	Hill Family Subdivision, address not identified, Riverdale, Utah; lot addressing to be determined by staff and applicant
Developer’s name, address, and phone number	Hill Family; address and phone number shown on filed application
Approving agency’s name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; signature location identified with agencies shown; need to update “Qwest” to “CenturyLink”, Questar not shown
Consulting Engineer’s name, address, and phone number	Pinnacle Engineering & Land Surveying, Inc, 2720 North 350 West, Suite #108, Layton, Utah 84041, 801-773-1910

Licensed Land Surveyor's name, address, phone number, signature, and seal	Pinnacle Engineering & Land Surveying, Inc, 2720 North 350 West, Suite #108, Layton, Utah 84041, 801-773-1910; signature and seal not shown at this point
Date	Yes – but date is shown as December 2010 and probably should be updated to reflect current time
Revision block with date and initials	Revision block shown on survey sheet (sheet 2)
Sheet number and total sheets	Yes, shown
<u>General</u>	
Street names	Yes, shown on drawing – “Washington Terrace Road” should be “300 West” in Riverdale
Layouts of lots with lot numbers	Yes, Lots 1 and 2 shown
Adjacent tract ownership and tax identification numbers	Yes, shown
Scale (minimum 1”=50’ to 1”=10’)	Yes, scale is showing
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Yes, shown on drawing; inquire about approval to cross or use adjacent easements, utilities, etc.
Space for notes	Yes, adequate space available
Contours	Contours shown on survey sheet (sheet 2)
Public areas	Location of sidewalks, right-of-way, curbing, and park strips shown
<u>Vicinity Map</u>	
Street names	Yes, shown
Site location	Yes, shown
North arrow	Yes, shown
Scale	Yes, shown
<u>Layout</u>	
Street Names	Yes, shown on drawing – “Washington Terrace Road” should be “300 West” in Riverdale
Layouts of lots with lot numbers	Yes, Lots 1 and 2 shown
Bearings and distances for all property lines and section ties	Yes, shown
Boundary and legal description	Yes, shown
Adjacent tract ownership and tax identification numbers	Yes, shown

Scale (minimum 1"=50')	Yes, scale is showing
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	Yes, shown
Landscaping (location and type with area calculations)	<u>Not shown, discuss with applicant if desired, not major concern</u>
Location of exterior lighting devices, signs, and outdoor advertising	Not applicable
Location of underground tanks, dumpsters, etc	Not applicable
<u>Additional Information</u>	
Benchmark	Yes
Basis of bearings	Yes
Legend	Yes
Center line stationing	Yes
Existing natural ground	<u>Not shown, some information shown on survey sheet (sheet 2)</u>
<u>New and Existing Buildings</u>	
Height and Size	No known existing buildings on site; <u>New buildings information unknown at this time</u>
Location, setbacks, and all dimensions	No known existing buildings on site; <u>New buildings information unknown at this time</u>
Type of construction	No known existing buildings on site; <u>New buildings information unknown at this time</u>
Type of occupancy and proposed uses	R-1-10 Single-Family Residential home uses
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Existing chain link fence shown; no new fences identified (if applicable)
Materials proposed for construction	None proposed at current time
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	Cannot identify off-street parking availability, but appear sufficient to meet code req of minimum of 2 spaces; refer to City 10-15 for more;
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	<u>Points of proposed lot ingress/egress shown;</u>
<u>New and Existing Streets</u>	

All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	<u>Not identified</u>
Face of curb lines	Yes, this is shown
Centerline slope	Yes, shown
Signing and striping	Not applicable
Light poles	Existing identified
Street lights	Existing identified
Street name signs	<u>Not identified (if any)</u>
Stop signs	Existing identified
UDOT approval (if required for project)	Not applicable
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Location of sidewalk shown, unsure if standard will be followed ; <u>developer will be responsible for replacing any damaged sidewalk facilities due to project</u>
Planting Strip	Yes, identified
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Not shown (if applicable)
Slope of gutter	Not shown (if applicable)
Manholes	Not shown (if applicable)
Invert elevations	Not shown (if applicable)
Length, size, slope, and type of mains and laterals	Not shown (if applicable)
Location of catch basins (every 500' to 800')	Not shown; <u>defer to City Engineer</u>
Ditches, location and ownership	None nearby project
Approval to pipe, reroute or use	Not shown or noted, if approval is necessary
Calculations for retention system	<u>Discuss with developer to verify retention needs if any for project</u> ; defer to City Engineer
<u>New and Existing Sanitary Sewers</u>	
Manholes	Not shown (if applicable)
Invert elevations	Not shown (if applicable)
Length, size, type, and slope of mains and laterals	<u>Will need to be installed in conformance to size, type, and slope standard of Riverdale City per note</u>

<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	<u>Will need to be installed in conformance to size, type, and slope standard of Riverdale City per note</u>
Location, size, and type of water meters, valves, and fire hydrants	<u>Water meter locations not identified; location of valves and existing fire hydrants not shown; will need to be installed in conformance to size, type, and slope standard of Riverdale City per note</u>
<u>New and Existing Gas Lines</u>	
Size and type	Location, size, and type not shown
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Location, size, and type not shown
Location of power poles	Location not shown (if applicable)
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	New (if any) and existing not currently shown
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Not currently shown
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Not shown (if applicable)
Cross section of curb and gutter (standard 30" high back)	Not shown (if applicable)
Gutter inlet box with bicycle safe grate	Not shown (if applicable)
Cleanout box	Not shown (if applicable)
Thrust blocking	Not shown (if applicable)
Special energy dissipating or drop manholes	Not shown (if applicable)
<i>ADDITIONAL INFORMATION</i>	
Soils report	<u>Geotechnical report has not been provided at this time; multiple departments will use this report</u>
Drainage and runoff calculations	<u>Discuss with developer to verify drainage needs if any for project; defer to City Engineer</u>
Water right transfer documentation	Not provided (not needed for this project)
Copy of protective covenants, codes, and regulations for development	Not applicable
Three (3) total 11" X 17" copies of plan drawings, three (3) large full set of plan drawings, and one digital full set copy of plan drawings	Hard copies and digital copy provided

<u>OTHER ITEMS</u>	
Building elevation renderings	None provided at this point, unknown design
Zoning compliance	Yes, R-1-10 zone allows for a single home per 10,000 sq. ft.; <u>infill lot development criteria to be applied to this subdivision, due to shorter minimum lot width than required, based on criteria in City Code 10-12 seems to be a candidate for infill lot development</u>
Use compliance	Yes, R-1-10 zone allows for a single home per 10,000 sq. ft.
Engineering comments and letter of approval recommendation	Engineering comments provided, along with other department heads comments for this project
All Planning Commission and City Staff conditions for approval have been met	In process with the Planning Commission for recommendation review on May 24, 2016 before advancing to review for approval by City Council

16 May 2016

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Hill Family Subdivision**
Subj: Plat and Improvement Drawings Review

Dear Mike,

I have reviewed the above referenced Plat and the Improvement drawings and submit the following review comments, which should to be considered:

General Comment:

1. An **electronic copy** of the completed Plat & Improvement Plan drawings must be submitted to the Public Work Department via our office for record keeping upon completion and approval of the subdivision drawings.

Plat:

1. The Plat "Boundary Description" and "Plat Drawing" have several errors which need to be corrected. I have included a scan drawing of my review of the description and drawing and the mathematical errors are noted on the scanned drawing.
2. The Plat "Boundary and Boundary Description" has not been checked for closure since there were several mathematical errors on the Plat.
3. The Plat contains several spelling errors of critical words which need to be corrected. There are duplicate notes on the Plat referencing the same City Standards. One note is sufficient on the Plat.
4. The lot addresses are needed for the two (2) subdivision lots. The addresses can be placed on the individual lots or in a table on the Plat.
5. The subdivision boundary "Point of Beginning" is needed on the Plat.
6. There is a "deed overlap" at the southerly end of Lot #1 which needs to be resolved prior to recording of the Plat..

7. The “slope easements” along the easterly side of Lot #2 need to be dimensioned as to widths and lengths.

Improvement Drawings:

The Improvement Drawings will need to be prepared and submitted for review with the following information include therein.

1. All deteriorated, damaged or missing surface improvements surrounding the perimeter of the subdivision development will need to be replaced or installed, i.e., curb and gutter, sidewalk, landscaping park strip improvements, street lights, fencing, etc.
2. The new sidewalk and driveway approaches will need to be shown along Highland Drive along with the handicap ramp at the intersection of Highland Drive and 300 West Street.
3. The culinary water laterals, sanitary sewer laterals, secondary water laterals and other utilities will need to be shown on the drawings.
4. Existing public utilities - i.e. the culinary water pipeline, sanitary sewer pipelines, storm water pipelines, secondary water pipelines and facilities (valves, fire hydrants, catch boxes, etc.) need to be shown on the improvement drawings.
5. The water meters should be located near the center of the lots. The standard culinary service waterline diameter is $\frac{3}{4}$ ” diameter.
6. The sanitary sewer laterals should be placed at minimum 10’ down gradient from the water meter location. The sanitary sewer lateral will need to be 4” diameter pvc and installed with a pipe slope of 2% or greater.
7. A minimum pavement patching depth of 8” of roadbase and 3” of bituminous asphalt will be required. No recycled roadbase may be used in the construction of the roadway improvements.
8. The developer will need to have a “Storm Water & Pollution Prevent Plan” prior to construction.

Should you have any questions feel free to contact our office for clarifications.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.



N. Scott Nelson, P.E.

City Engineer

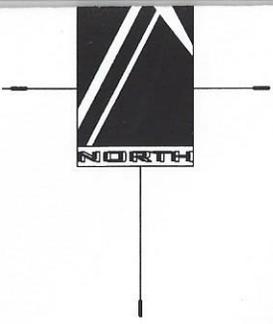
Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official and Inspector



VICINITY MAP

DEVELOPER

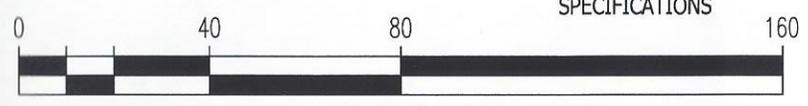
HILL FAMILY
 25 SOUTH 2250 EAST
 RIVERDALE, UTAH 84405
 801-941-5957



SETBACKS:
 25' FRONT YARD SETBACK
 25' REAR YARD SETBACK
 8' EACH SIDE YARD SETBACK
 20' SIDE YARD SETBACK ON
 CORNER LOT

P.U. & D.E
 25' ALONG FRONT LOT LINES
 AND AS SHOWN HEREON

IMPROVEMENTS
 SIDEWALK AND DRIVEWAY
 APRONS HAVE BEEN SHOWN AT
 THE REQUEST OF RIVERDALE
 CITY - ALL SUCH IMPROVEMENTS
 SHALL BE CONSTRUCTED PER
 RIVERDALE CITY STANDARDS &
 SPECIFICATIONS



SCALE: 1"=40'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH. BEARING
C1	15.82	275.76	3°17'13"	15.82	N 19°26'01" E
C2	94.09	128.28	42°01'36"	92.00	S 38°48'12" W
C3	18.40	25.00	42°09'30"	17.98	S 80°53'45" W
C4	20.40	21.35	54°44'17"	19.63	N 49°27'07" W
C5	27.45	550.00	2°51'36"	27.45	S 23°30'10" E
C6	64.18	128.28	28°40'00"	63.51	S 32°07'24" W
C7	29.91	128.28	13°21'36"	29.84	S 53°08'12" W



LINE TABLE		
LINE	BEARING	LENGTH
L1	N 59°49'00" E	60.03
L2	S 15°00'05" W	3.81
L3	S 24°56'17" E	36.34
L4	S 61°52'19" W	43.07
L5	WEST	16.79

BOUNDARY DESCRIPTION

PART OF LOT 15 HIGHLAND VIEW SUBDIVISION, WEBER COUNTY, STATE OF UTAH, CITY OF RIVERDALE DESCRIBED AS FOLLOWS (THE BASIS OF BEARING FOR THIS DESCRIPTION IS ALONG THE CENTERLINE OF THE EXISTING CURB & GUTTER LOCATED ALONG HIGHLAND DRIVE):

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 15, SAID POINT BEING ON THE SOUTHEAST LINE OF HIGHLAND DRIVE AND LOCATED NORTH 00DD38'20" EAST ALONG SECTION LINE 2323.78 FEET AND EAST 1070.09 FEET FROM THE SOUTHWEST CORNER OF SECTION 8, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LIND OF SAID HIGHLAND DRIVE THE FOLLOWING (3) COURSES: (1) 15.82 FEET (16.93 FEET BY RECORD); ALONG THE ARC OF A 275.76 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 3°17'13" (CHORD BEARS NORTH 19°26'01" EAST 15.82 FEET), (2) 94.09 FEET (90.69 FEET BY RECORD) ALONG THE ARC OF A 128.28 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 42°01'36" (CHORD BEARS NORTH 38°48'12" EAST 91.99 FEET), AND (3) NORTH 59°49'00" EAST 60.03 FEET (60.44 FEET BY RECORD); THENCE NORTHEASTERLY 18.40 FEET ALONG THE ARC OF A 25.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 42°09'30" (CHORD BEARS NORTH 80°53'45" EAST 17.98 FEET) TO A NORTHWESTERLY LINE OF THE PROPERTY OF RIVERDALE CITY; THENCE SOUTHEASTERLY ALONG THE WESTERLY LINE OF SAID PROPERTY THE FOLLWING (4) COURSES: (1) SOUTH 15°00'05" WEST 3.81 FEET, (2) SOUTHEASTERLY 20.40 FEET ALONG THE ARC OF A 21.35 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 54°44'16" (CHORD BEARS SOUTH 49°27'07" EAST 19.63 FEET), (3) 27.45 FEET ALONG THE ARC OF A 550.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 2°51'36" (CHORD BEARS SOUTH 23°30'10" EAST 27.45 FEET), AND (4) SOUTH 24°56'17" EAST 36.34 FEET TO A NORTHWESTERLY BOUNDARY OF THE BAIRD PROPERTY; THENCE SOUTH 61°52'19" WEST 43.07 FEET TO THE NORTHWEST CORNER OF SAID PROPERTY; THENCE SOUTH 24°56'06" EAST ALONG SAID WESTERLY LINE 133.27 FEET TO THE SOUTH LINE OF SAID LOT 15; THENCE WEST ALONG SAID SOUTH LINE 16.79 FEET TO THE SOUTHWEST CORNER OF SAID LOT 15; AND THENCE NORTH 61°07'00" WEST ALONG THE WEST LINE OF SAID LOT 198.91 FEET TO THE POINT OF BEGINNING. CONTAINING: 21,022 SQ.FT. (0.48 ACRES)

NE
SE

OWNER'S DEDICATION

We, the undersigned owner(s) of the hereon described tract of land, hereby set apart and subdivide the same into lots as shown on this plat, and name said tract of land HILL FAMILY SUBDIVISION.

Signed this _____ day of _____, 20__.

"The undersigned hereby certify that this subdivision has met all the requirements of Riverdale City Ordinances."

ACKNOWLEDGMENT

DEPARTMENTAL STAFF REPORTS – 5/11/2016 through 5/17/2016

From: Shawn Douglas
Sent: Mon 5/16/2016 11:15 AM
To: Mike Eggett
Subject: Hill Family Subdivision

Mike, these are my review comments for the Hill Subdivision. Thanks

- 1-Show water meter placement and service connections.
- 2-Existing water utilities need to be shown on plans.
- 3-Show secondary water lines and connections.
- 4-Show existing sewer mains and new lateral connections.
- 5-Note requiring all construction and materials shall meet Riverdale City standards and specifications.
- 6-Note requiring all missing, nonfunctioning, or damaged surface improvements shall be replaced.
- 7-While the site may not require a state permit for storm water depending on if this parcel was part of a larger plan of common development, the developer should have BMPs for tracking, concrete washout, run off etc.

Shawn Douglas

Public Works Director
801/394/5541 ext.1217
Sdouglas@Riverdalecity.com

From: Rodger Worthen
Sent:
To: Mike Eggett
Subject: RE: Hill subdivision without any changes

No comments were provided.

Rodger Worthen, MPA/AICP
City Administrator
Riverdale City Corp.
801-394-5541
www.riverdalecity.com

From: Jared Sholley – Fire Department
Sent: Tue 5/17/2016 9:34 PM

To: Mike Eggett

Subject: Hill subdivision without any changes

Fire has no issues.

Jared

From: Dave Hansen – Police Department

Sent: Wed 5/11/2016 2:28 PM

To: Mike Eggett

Subject: Re: Hill subdivision without any changes

No problems from the PD!



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2016-05 DATE SUBMITTED: May 10, 2016

APPLICANT'S NAME: Brent Hill

ADDRESS: On File

PHONE: On File

ADDRESS OF SITE: South West corner 300 W. Highland Dr. Riverdale, UT

APPLICANT'S INTEREST: owner

Application is hereby made to the Riverdale City Planning Commission requesting that a residential subdivision consisting of 2 (number of lots) lots be approved on 21,022 (sq. ft./acreage) of property in the R-1.8 zone in accordance with the attached site plan.

[Signature]
Signature of Applicant

[Signature]
Signature of Property Owner

I authorize _____ to act as my representative in all matters relating to this application.

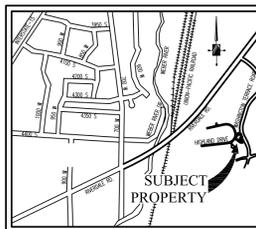
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$100 per lot/unit
Fee: \$ 200.00 Date paid: 5-10-16

Planning Commission sets public hearing: Yes No Date of Public Hearing: _____
Planning Commission scheduled to hear this application for site plan approval on:
Date: 5-24-2016 Decision of Commission: _____
City Council sets public hearing: Yes No Date of Public Hearing: _____
City Council scheduled to hear this application for site plan approval on:
Date: _____ Decision of Council: _____

HILL FAMILY SUBDIVISION

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN
RIVERDALE CITY, WEBER COUNTY, UTAH,
DECEMBER 2010



VICINITY MAP

DEVELOPER

HILL FAMILY
8025 SOUTH 2250 EAST
SOUTH WEBER, UTAH 84405
695-0110

SETBACKS:
25' FRONT YARD SETBACK
25' REAR YARD SETBACK
8' EACH SIDE YARD SETBACK
20' SIDE YARD SETBACK ON CORNER LOT

P.U. & D.E.
25' ALONG FRONT LOT LINES
AND AS SHOWN HEREON

IMPROVEMENTS
SIDEWALK AND DRIVEWAY
APRONS HAVE BEEN SHOWN AT
THE REQUEST OF RIVERDALE
CITY - ALL SUCH IMPROVEMENTS
SHALL BE CONSTRUCTED PER
RIVERDALE CITY STANDARDS &
SPECIFICATIONS



SCALE: 1"=40'

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CH. BEARING
C1	15.82	275.76	3°17'13"	N 19°26'01" E
C2	94.09	128.28	42°01'36"	S 38°48'12" W
C3	18.40	25.00	42°09'30"	S 80°53'45" W
C4	20.40	21.35	54°44'17"	N 49°27'07" W
C5	27.45	550.00	2°51'36"	S 23°30'10" E
C6	64.18	128.28	28°40'00"	S 32°07'24" W
C7	29.91	128.28	13°21'36"	S 53°08'12" W

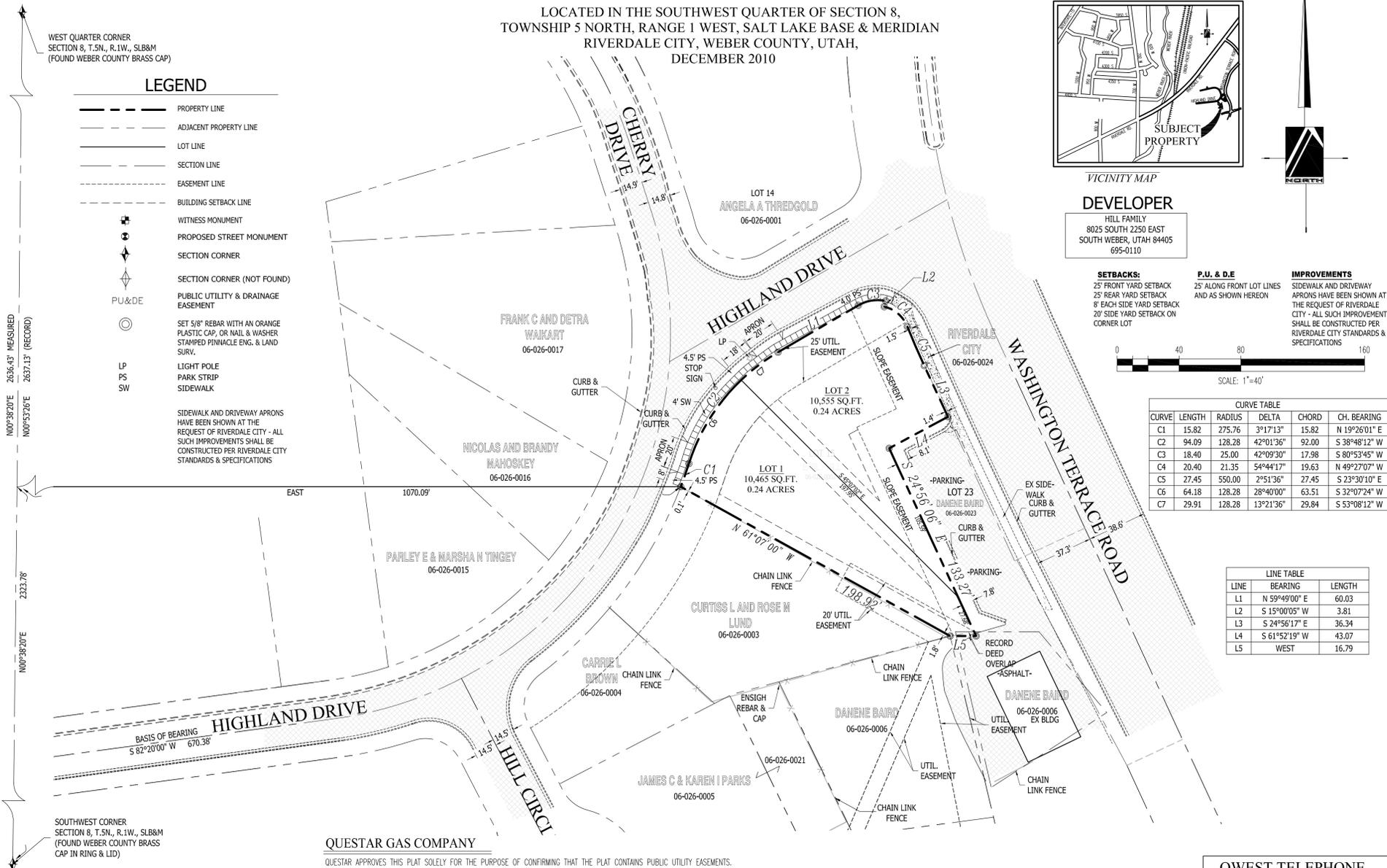
LINE TABLE		
LINE	BEARING	LENGTH
L1	N 59°49'00" E	60.03
L2	S 15°00'05" W	3.81
L3	S 24°56'17" E	36.34
L4	S 61°52'19" W	43.07
L5	WEST	16.79

WEST QUARTER CORNER
SECTION 8, T.5N., R.1W., SLB&M
(FOUND WEBER COUNTY BRASS CAP)

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- LOT LINE
- SECTION LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- WITNESS MONUMENT
- PROPOSED STREET MONUMENT
- SECTION CORNER
- SECTION CORNER (NOT FOUND)
- PUBLIC UTILITY & DRAINAGE EASEMENT
-
- LIGHT POLE
- PARK STRIP
- SIDEWALK

SIDEWALK AND DRIVEWAY APRONS
HAVE BEEN SHOWN AT THE
REQUEST OF RIVERDALE CITY - ALL
SUCH IMPROVEMENTS SHALL BE
CONSTRUCTED PER RIVERDALE CITY
STANDARDS & SPECIFICATIONS



QUESTAR GAS COMPANY

QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTING, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532

APPROVED THIS _____ DAY OF _____, 20____, BY _____
TITLE: _____

QWEST TELEPHONE COMPANY APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, A REPRESENTATIVE OF QWEST

QWEST TELEPHONE REPRESENTATIVE

SURVEYOR'S CERTIFICATE

I, STEPHEN J. FACKRELL do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. 191517 as prescribed under laws of the State of Utah. I have made a survey of the tract of land shown on this plat in accordance with Section 17-23-17 and described below, and have subdivided said tract of land into lots, streets and open space, hereafter to be known as: HILL FAMILY SUBDIVISION and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

STEPHEN J. FACKRELL
CERTIFICATE NO. 191517

DATE: _____

BOUNDARY DESCRIPTION

PART OF LOT 15 HIGHLAND VIEW SUBDIVISION, WEBER COUNTY, STATE OF UTAH, CITY OF RIVERDALE DESCRIBED AS FOLLOWS (THE BASIS OF BEARING FOR THIS DESCRIPTION IS ALONG THE CENTERLINE OF THE EXISTING CURB & GUTTER LOCATED ALONG HIGHLAND DRIVE):

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 15, SAID POINT BEING ON THE SOUTHEAST LINE OF HIGHLAND DRIVE AND LOCATED NORTH 00D38'20" EAST ALONG SECTION LINE 2323.78 FEET AND EAST 1070.09 FEET FROM THE SOUTHWEST CORNER OF SECTION 8, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LIND OF SAID HIGHLAND DRIVE THE FOLLOWING (3) COURSES: (1) 15.82 FEET (16.93 FEET BY RECORD) ALONG THE ARC OF A 275.76 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 3°17'13" (CHORD BEARS NORTH 19°26'01" EAST 15.82 FEET), (2) 94.09 FEET (90.69 FEET BY RECORD) ALONG THE ARC OF A 128.28 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 42°01'36" (CHORD BEARS NORTH 38°48'12" EAST 91.99 FEET), AND (3) NORTH 59°49'00" EAST 60.03 FEET (60.44 FEET BY RECORD); THENCE NORTHEASTERLY 18.40 FEET ALONG THE ARC OF A 25.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 42°09'30" (CHORD BEARS NORTH 80°53'45" EAST 17.98 FEET) TO A NORTHWESTERLY LINE OF THE PROPERTY OF RIVERDALE CITY; THENCE SOUTHEASTERLY ALONG THE WESTERLY LINE OF SAID PROPERTY THE FOLLOWING (4) COURSES: (1) SOUTH 15°00'05" WEST 3.81 FEET, (2) SOUTHEASTERLY 20.40 FEET ALONG THE ARC OF A 21.35 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 54°44'16" (CHORD BEARS SOUTH 49°27'07" EAST 19.63 FEET), (3) 27.45 FEET ALONG THE ARC OF A 550.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 2°51'36" (CHORD BEARS SOUTH 23°30'10" EAST 27.45 FEET), AND (4) SOUTH 24°56'17" EAST 36.34 FEET TO A NORTHWESTERLY BOUNDARY OF THE BAIRD PROPERTY; THENCE SOUTH 61°52'19" WEST 43.07 FEET TO THE NORTHWEST CORNER OF SAID PROPERTY; THENCE SOUTH 24°56'06" EAST ALONG SAID WESTERLY LINE 133.27 FEET TO THE SOUTH LINE OF SAID LOT 15; THENCE WEST ALONG SAID SOUTH LINE 16.79 FEET TO THE SOUTHWEST CORNER OF SAID LOT 15; AND THENCE NORTH 61°07'00" WEST ALONG THE WEST LINE OF SAID LOT 198.91 FEET TO THE POINT OF BEGINNING. CONTAINING: 21,022 SQ.FT. (0.48 ACRES)

OWNER'S DEDICATION

We, the undersigned owner(s) of the hereon described tract of land, hereby set apart and subdivide the same into lots as shown on this plat, and name said tract of land HILL FAMILY SUBDIVISION.

Signed this _____ day of _____, 20____.

"The undersigned hereby certify that this subdivision has met all the requirements of Riverdale City Ordinances."

ACKNOWLEDGMENT

STATE OF UTAH
County of Weber

On the _____ day of _____, 2011, personally appeared before me signor(s) of the forgoing instrument, being _____ in number and did say that he/she/they having authority did execute the same.

Notary Public _____

Residing at: _____
My Commission Expires: _____

HILL FAMILY SUBDIVISION

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; RIVERDALE CITY, WEBER COUNTY, UTAH, DECEMBER 2010



2720 North 350 West, Suite #108 Layton, UT 84041
Phone: (801) 773-1910 Fax: (801) 773-1925

10-065

ROCKY MOUNTAIN POWER COMPANY APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, A REPRESENTATIVE OF ROCKY MOUNTAIN POWER.

ROCKY MOUNTAIN POWER REPRESENTATIVE

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE RIVERDALE CITY ATTORNEY.

RIVERDALE CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE RIVERDALE CITY PLANNING COMMISSION.

CHAIRMAN, RIVERDALE CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE RIVERDALE CITY ENGINEER

RIVERDALE CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE RIVERDALE CITY COUNCIL.

ATTEST:

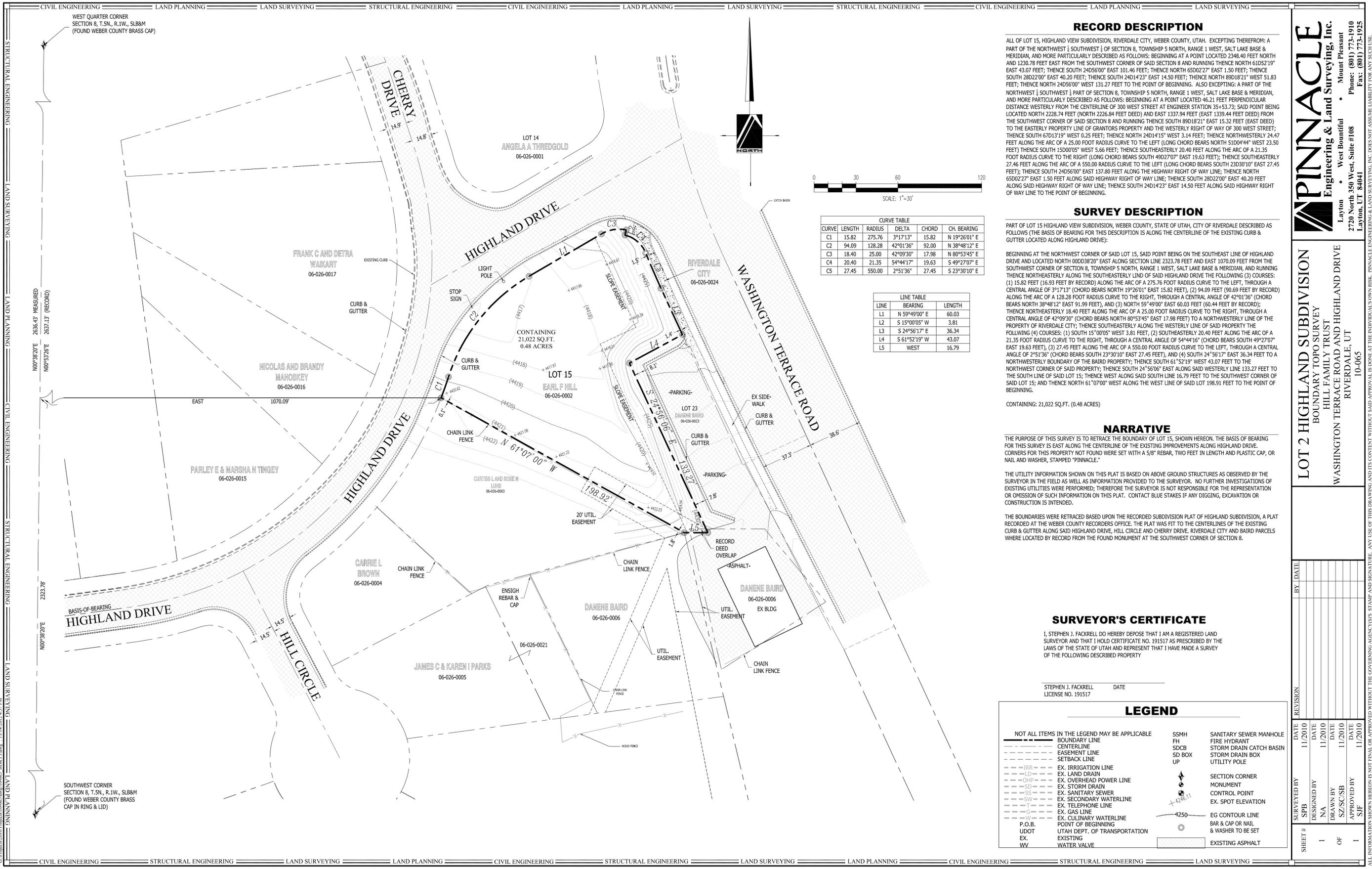
RIVERDALE CITY RECORDER RIVERDALE CITY MAYOR

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR RECORD AND RECORDED THIS _____ DAY _____ OF _____, 20____ AT _____ IN BOOK _____ OF OFFICIAL RECORDS PAGE _____

WEBER COUNTY RECORDER

BY _____ DEPUTY RECORDER



RECORD DESCRIPTION

ALL OF LOT 15, HIGHLAND VIEW SUBDIVISION, RIVERDALE CITY, WEBER COUNTY, UTAH. EXCEPTING THEREFROM: A PART OF THE NORTHWEST 1/4 SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED 2348.40 FEET NORTH AND 1230.78 FEET EAST FROM THE SOUTHWEST CORNER OF SAID SECTION 8 AND RUNNING THENCE NORTH 61D52'19" EAST 43.07 FEET; THENCE SOUTH 24D56'00" EAST 101.46 FEET; THENCE NORTH 65D02'27" EAST 1.50 FEET; THENCE SOUTH 28D22'00" EAST 40.20 FEET; THENCE SOUTH 24D14'23" EAST 14.50 FEET; THENCE NORTH 89D18'21" WEST 51.83 FEET; THENCE NORTH 24D56'00" WEST 131.27 FEET TO THE POINT OF BEGINNING. ALSO EXCEPTING: A PART OF THE NORTHWEST 1/4 SOUTHWEST 1/4 PART OF SECTION 8, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED 46.21 FEET PERPENDICULAR DISTANCE WESTERLY FROM THE CENTERLINE OF 300 WEST STREET AT ENGINEER STATION 35+53.73; SAID POINT BEING LOCATED NORTH 22D8'74 FEET (NORTH 22D8'74 FEET DEED) AND EAST 1337.94 FEET (EAST 1339.44 FEET DEED) FROM THE SOUTHWEST CORNER OF SAID SECTION 8 AND RUNNING THENCE SOUTH 89D18'21" EAST 15.32 FEET (EAST DEED) TO THE EASTERLY PROPERTY LINE OF GRANTORS PROPERTY AND THE WESTERLY RIGHT OF WAY OF 300 WEST STREET; THENCE SOUTH 67D13'19" WEST 0.25 FEET; THENCE NORTH 24D14'15" WEST 3.14 FEET; THENCE NORTHWESTERLY 24.47 FEET ALONG THE ARC OF A 25.00 FOOT RADIUS CURVE TO THE LEFT (LONG CHORD BEARS NORTH 51D04'44" WEST 23.50 FEET) THENCE SOUTH 15D00'05" WEST 5.66 FEET; THENCE SOUTHEASTERLY 20.40 FEET ALONG THE ARC OF A 21.35 FOOT RADIUS CURVE TO THE RIGHT (LONG CHORD BEARS SOUTH 49D27'07" EAST 19.63 FEET); THENCE SOUTHEASTERLY 27.46 FEET ALONG THE ARC OF A 550.00 RADIUS CURVE TO THE LEFT (LONG CHORD BEARS SOUTH 23D30'10" EAST 27.45 FEET); THENCE SOUTH 24D56'00" EAST 137.80 FEET ALONG THE HIGHWAY RIGHT OF WAY LINE; THENCE NORTH 65D02'27" EAST 1.50 FEET ALONG SAID HIGHWAY RIGHT OF WAY LINE; THENCE SOUTH 28D22'00" EAST 40.20 FEET ALONG SAID HIGHWAY RIGHT OF WAY LINE; THENCE SOUTH 24D14'23" EAST 14.50 FEET ALONG SAID HIGHWAY RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

SURVEY DESCRIPTION

PART OF LOT 15 HIGHLAND VIEW SUBDIVISION, WEBER COUNTY, STATE OF UTAH, CITY OF RIVERDALE DESCRIBED AS FOLLOWS (THE BASIS OF BEARING FOR THIS DESCRIPTION IS ALONG THE CENTERLINE OF THE EXISTING CURB & GUTTER LOCATED ALONG HIGHLAND DRIVE):

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 15, SAID POINT BEING ON THE SOUTHEAST LINE OF HIGHLAND DRIVE AND LOCATED NORTH 00D08'20" EAST ALONG SECTION LINE 2323.78 FEET AND EAST 1070.09 FEET FROM THE SOUTHWEST CORNER OF SECTION 8, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY END OF SAID HIGHLAND DRIVE THE FOLLOWING (3) COURSES: (1) 15.82 FEET (16.93 FEET BY RECORD) ALONG THE ARC OF A 275.76 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 3°17'13" (CHORD BEARS NORTH 19°26'01" EAST 15.82 FEET), (2) 94.09 FEET (90.69 FEET BY RECORD) ALONG THE ARC OF A 128.28 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 42°01'36" (CHORD BEARS NORTH 38°48'12" EAST 91.99 FEET), AND (3) NORTH 59°49'00" EAST 60.03 FEET (BY RECORD); THENCE NORTHEASTERLY 18.40 FEET ALONG THE ARC OF A 25.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 42°09'30" (CHORD BEARS NORTH 80°53'45" EAST 17.98 FEET) TO A NORTHWESTERLY LINE OF THE PROPERTY OF RIVERDALE CITY; THENCE SOUTHEASTERLY ALONG THE WESTERLY LINE OF SAID PROPERTY THE FOLLOWING (4) COURSES: (1) SOUTH 15°00'05" WEST 3.81 FEET, (2) SOUTHEASTERLY 20.40 FEET ALONG THE ARC OF A 21.35 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 54°44'16" (CHORD BEARS SOUTH 49°27'07" EAST 19.63 FEET), (3) 27.45 FEET ALONG THE ARC OF A 550.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 2°51'36" (CHORD BEARS SOUTH 23°30'10" EAST 27.45 FEET), AND (4) SOUTH 24°56'17" EAST 36.34 FEET TO A NORTHWESTERLY BOUNDARY OF THE BAIRD PROPERTY; THENCE SOUTH 61°52'19" WEST 43.07 FEET TO THE NORTHWEST CORNER OF SAID PROPERTY; THENCE SOUTH 24°56'06" EAST ALONG SAID WESTERLY LINE 133.27 FEET TO THE SOUTH LINE OF SAID LOT 15; THENCE WEST ALONG SAID SOUTH LINE 16.79 FEET TO THE SOUTHWEST CORNER OF SAID LOT 15; AND THENCE NORTH 61°07'00" WEST ALONG THE WEST LINE OF SAID LOT 198.91 FEET TO THE POINT OF BEGINNING.

CONTAINING: 21,022 SQ.FT. (0.48 ACRES)

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO RETRACE THE BOUNDARY OF LOT 15, SHOWN HEREON. THE BASIS OF BEARING FOR THIS SURVEY IS EAST ALONG THE CENTERLINE OF THE EXISTING IMPROVEMENTS ALONG HIGHLAND DRIVE. CORNERS FOR THIS PROPERTY NOT FOUND WERE SET WITH A 5/8" REBAR, TWO FEET IN LENGTH AND PLASTIC CAP, OR NAIL AND WASHER, STAMPED "PINNACLE."

THE UTILITY INFORMATION SHOWN ON THIS PLAT IS BASED ON ABOVE GROUND STRUCTURES AS OBSERVED BY THE SURVEYOR IN THE FIELD AS WELL AS INFORMATION PROVIDED TO THE SURVEYOR. NO FURTHER INVESTIGATIONS OF EXISTING UTILITIES WERE PERFORMED; THEREFORE THE SURVEYOR IS NOT RESPONSIBLE FOR THE REPRESENTATION OR OMISSION OF SUCH INFORMATION ON THIS PLAT. CONTACT BLUE STAKES IF ANY DIGGING, EXCAVATION OR CONSTRUCTION IS INTENDED.

THE BOUNDARIES WERE RETRACED BASED UPON THE RECORDED SUBDIVISION PLAT OF HIGHLAND SUBDIVISION, A PLAT RECORDED AT THE WEBER COUNTY RECORDERS OFFICE. THE PLAT WAS FIT TO THE CENTERLINES OF THE EXISTING CURB & GUTTER ALONG SAID HIGHLAND DRIVE, HILL CIRCLE AND CHERRY DRIVE. RIVERDALE CITY AND BAIRD PARCELS WHERE LOCATED BY RECORD FROM THE FOUND MONUMENT AT THE SOUTHWEST CORNER OF SECTION 8.

SURVEYOR'S CERTIFICATE

I, STEPHEN J. FACKRELL DO HEREBY DEPOSE THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 191517 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND REPRESENT THAT I HAVE MADE A SURVEY OF THE FOLLOWING DESCRIBED PROPERTY

STEPHEN J. FACKRELL DATE _____
 LICENSE NO. 191517

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE		SSMH		SANITARY SEWER MANHOLE	
---	BOUNDARY LINE	FH	FIRE HYDRANT	SD	STORM DRAIN CATCH BASIN
---	CENTERLINE	SDBC	STORM DRAIN BOX	SD	STORM DRAIN BOX
---	EASEMENT LINE	UP	UTILITY POLE		
---	SETBACK LINE				
---	IRR				
---	EX. IRRIGATION LINE				
---	LD				
---	EX. LAND DRAIN				
---	OHP				
---	EX. OVERHEAD POWER LINE				
---	SD				
---	EX. STORM DRAIN				
---	SS				
---	EX. SANITARY SEWER				
---	SW				
---	EX. SECONDARY WATERLINE				
---	T				
---	EX. TELEPHONE LINE				
---	G				
---	EX. GAS LINE				
---	W				
---	EX. CULINARY WATERLINE				
---	POINT OF BEGINNING				
P.O.B.	UTAH DEPT. OF TRANSPORTATION	4250	EG CONTOUR LINE		
EX.	EXISTING		BAR & CAP OR NAIL		
WV	WATER VALVE		& WASHER TO BE SET		
			EXISTING ASPHALT		

PINNACLE
 Engineering & Land Surveying, Inc.
 Layton • West Bountiful • Mount Pleasant
 2720 North 350 West, Suite #108
 Layton, UT 84041
 Phone: (801) 773-1910
 Fax: (801) 773-1925

LOT 2 HIGHLAND SUBDIVISION
 BOUNDARY TOPO SURVEY
 HILL FAMILY TRUST
 WASHINGTON TERRACE ROAD AND HIGHLAND DRIVE
 RIVERDALE, UT
 10-065

SURVEYED BY	DATE	DESIGNED BY	DATE	DRAWN BY	DATE	APPROVED BY	DATE	REVISION	
								BY	DATE
SPB	11/2010	N/A	11/2010	SZ/SC/SB	11/2010	SJF	11/2010		
SHEET #	1	OF							