



**RIVERDALE CITY PLANNING COMMISSION AGENDA
CIVIC CENTER - 4600 S. WEBER RIVER DR.
TUESDAY – OCTOBER 14, 2014**

6:00 p.m. – Work Session (City Council Conference Room)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Open Communications

(This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes.)

C. Presentations and Reports

None.

D. Consent Items

1. Consideration of meeting minutes from:
September 23, 2014 Work Session
September 23, 2014 Planning Commission

E. Action Items

1. Consideration of final review of Bravo Arts Academy proposal
*Presenters: Mike Ford, Riverdale Business Park Developer
Nate Reeve, Reeve Engineering*

F. Discretionary Items

G. Adjournment

- The public is invited to attend all Planning Commission meetings.
- In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Recorder at 394-5541 x 1232.
- This agenda has been properly posted and a copy provided to local news media.

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
October 10, 2014**

AGENDA ITEM: B

SUBJECT: Open Communications

PETITIONER: Anyone Interested

ACTION REQUESTED BY PETITIONER: Open agenda item provided for any interested person to be able to speak about any topic.

INFORMATION: Per Governing Body desire, this item will be placed on the agenda as a permanent and regular item.

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**RIVERDALE CITY
PLANNING COMMISSION AGENDA
October 14, 2014**

AGENDA ITEM: D

SUBJECT: Consideration of meeting minutes from:
September 23, 2014 Work Session
September 23, 2014 Planning Commission

PETITIONER: City Recorder

ACTION REQUESTED BY PETITIONER: Approve minutes

INFORMATION: See attached minutes as follows:

[September 23, 2014 Work Session](#)

[September 23, 2014 Planning Commission](#)

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Minutes of the **Work Session** of the **Riverdale City Planning Commission** held Tuesday, **September 23, 2014** at 6:03 p.m. at the Riverdale Civic Center, 4600 South Weber River Drive.

Members Present: Blair Jones, Chairman
Michael Roubinet, Commissioner
Kathy Eskelsen, Commissioner
Cody Hansen, Commissioner
David Gailey, Commissioner

Members Excused: Lori Fleming, Commissioner

Members Absent: Steve Hilton, Commissioner

Others Present: Michael Eggett, Community Development Director; Ember Herrick, City Recorder and no members of the public.

Chairman Jones welcomed the Planning Commission members to the work session stating for the record that all were in attendance except for Commissioner Hilton who is absent and Commissioner Fleming who is excused. Community Development Director Michael Eggett said the only update to the Community Development Report is the recent opening of Ferguson's Plumbing and Massage Envy has a grand opening scheduled for October 3, 2014. He said Riverdale Business Park's first three units are near completion and should be applying for business licenses too.

Chairman Jones asked for any changes or corrections to the previous meeting minutes and none were noted.

Chairman Jones said the only action item on tonight's agenda is preliminary consideration of a proposal to build Bravo Arts Academy on 1500 West. Mr. Eggett said this application was submitted by Mike Ford and tonight will just be a preliminary review as there are some outstanding issues that need to be resolved like a lot line adjustment through Weber County. He said the Bravo Arts Academy is expected to be architecturally compatible with the surrounding developments and current general plan designation and he reviewed a checklist of outstanding issues identified by City Engineer Scott Nelson including drainage and lighting. Mr. Eggett said Public Works Director Shawn Douglas has been conducting a preliminary sewer line study with Mr. Nelson to evaluate how the new uses will affect the current lines. Commissioner Hansen asked how the study is coming and Mr. Eggett said a preliminary recommendation is that Bravo incorporate water wise appliances and bathroom facilities. Mr. Eggett said elevation drawings weren't included in the preliminary review but will be part of the final review that will likely come before the Planning Commission at their October 14, 2014 meeting.

Chairman Jones asked for discretionary items and Commissioner Hansen asked for an update on the city's purchase of 17 acres on River Park Drive for a future city park. Mr. Eggett said the title report clarification is still in process then Riverdale City will proceed to close the deal. Commissioner Hansen asked if any new UTA bus shelters will be installed before winter and Mr. Eggett said not that he is aware of and he promised to follow up with City Administrator Rodger Worthen and Mayor Norm Searle about the need to discuss bus shelters on Riverdale Road including a shelter in front of RC Willey and ShopKo . There were no additional discretionary items noted.

Mr. Eggett said tonight's training document *Serving the Public Interest* was provided by Administrative Assistant Lynette Limburg and defines stakeholders as anyone with interest in a community and he encouraged the Planning Commission to balance the requests of all community members. He said if conflicts arise and difficult choices must be reached a compromise between neighborhoods and individuals and their competing interests is ideal for public officials to strive towards. Mr. Eggett said all key stakeholders must be notified and given an opportunity to voice their concerns or opinions in a public meeting setting. He asked for any questions or comments and none were noted.

There being no further business, the Planning Commission adjourned at 6:18 p.m.

Approved: October 14, 2014

Attest:

Blair Jones, Chairman

Ember Herrick, City Recorder



Minutes of the **Regular Meeting** of the **Riverdale City Planning Commission** held Tuesday, **September 23, 2014 at 6:30 p.m.** at the Riverdale Civic Center, 4600 South Weber River Drive.

Members Present: Blair Jones, Chairman
David Gailey, Commissioner
Kathy Eskelsen, Commissioner
Michael Roubinet, Commissioner
Cody Hansen Commissioner

Member Excused: Lori Fleming, Commissioner

Member Absent: Steve Hilton, Commissioner

Others Present: Michael Eggett, Community Development Director; Ember Herrick, City Recorder and four members of the public including Mike and Angie Ford and Nate Reeve.

A. Welcome & Roll Call

Chairman Jones welcomed everyone to the meeting and stated for the record all members of the Planning Commission are present except for Commissioner Fleming who is excused and Commissioner Hilton who is absent.

B. Open Communications

Chairman Jones said there are no members of the public except the petitioners present to speak during the open communications portion of the meeting.

C. Presentations and Reports

Community Development Director Michael Eggett said there are no new updates to the Community Development Report.

D. Consent Items

- 1. Consideration of meeting minutes from:
September 9, 2014 Work Session
September 9, 2014 Planning Commission**

Chairman Jones asked for any changes or corrections to the previous meeting minutes and none were noted.

Motion: Commissioner Eskelsen moved to approve the consent items. Commissioner Gailey seconded the motion.

There was no discussion on the motion.

Call the Question: The motion passed unanimously.

E. Action Items

1. Preliminary review of Bravo Arts Academy proposal

Chairman Jones said the only action item on tonight's agenda is a preliminary review of a proposal by Bravo Arts Academy. Mr. Eggett said the petitioners are the developers Mike and Angie Ford and engineer Nate Reeve who would like to build an arts academy on 1500 West in the CP-3 Zone at the Riverdale Business Park similar to facilities in Clearfield and Washington Terrace. He said a lot line adjustment between lots one and four will need to be made with Weber County and the Bravo Arts Academy will have a development agreement subject to Council review. Mr. Eggett said Mr. Ford will maintain the landscaping while the development is being completed and he reviewed the other outstanding items from the site plan review including the lighting and drainage concerns of the City Engineer Scott Nelson. Mr. Eggett said with an anticipated 45 staff member the 70 planned parking spaces will exceed the number required by city code. Mr. Eggett said Mr. Nelson and Public Works Director Shawn Douglas have been evaluating storm water and sewer capacity concerns and this use looks positive based on staff's preliminary review with the recommendation that the school's bathroom facilities utilize low flow appliances. He said the copy of the development agreement included in the packet was missing a page but the complete document will be included in the final Planning Commission review on October 14, 2014. Chairman Jones asked for questions and none were noted.

Mr. Ford showed a promotional video about Bravo Arts Academy and a color rendering and elevation map. He said the building will be 27,000 sq ft with a playground for each age group. Commissioner Eskelsen asked what age of children will attend this daycare/preschool and Mrs. Ford said children ages 6 weeks to 12 years old and she noted that dance and tumbling and art are also taught at the academy. Chairman Jones asked how many children will attend the school and Mrs. Ford said the maximum will be 302 as allowed by state law. Commissioner Gailey asked about the child to adult ratio and Mrs. Ford reviewed the supervision for the different age groups and said no class size will exceed 16 children. Commissioner Eskelsen asked about the doors and Mrs. Ford said the five different playgrounds are separated by age group and different doors lead to fenced off playground areas. Commissioner Hansen said he likes the proposal and has been impressed with the Bravo Arts Academy his daughter attends in Clearfield and he asked about the outstanding staff and engineering concerns. Mr. Eggett said he is comfortable the remaining items can be resolved prior to the next Planning Commission meeting. Commissioner Roubinet asked if the petitioner is comfortable with the current speed limit and Mr. Ford said 25 mph will be sufficient for the school. Mr. Reeve said the layout was designed with a safe entrance for dropping children off and picking them up that shouldn't congest 1500 West. He said the developer intends to inform parents of the ideal way to access the school to avoid impacting the adjacent residential neighborhood. According to Mr. Reeve, the lot line adjustment will allow the Bravo Arts Academy to be built on lot one and lot four will be vacant for now. Commissioner Hansen noted the hillside issues associated with lot four and asked what the developer anticipates building on this property in the future and Mr. Reeve noted the limitations and said nothing is anticipated at this time. Commissioner Hansen asked about low flow plumbing and Mr. Reeve said the school's anticipated water use will be 30,000 gallons a month or 1,500 gallons a day, which he said is the equivalent of three or four homes. Mr. Reeve said Mr. Nelson recommended a six inch lateral but the lot is already equipped with four inch laterals and the developer would like to use the current infrastructure to avoid the need to cut into Riverdale City streets. Mr. Eggett said this needs to be discussed further with Mr. Nelson.

Commissioner Roubinet said some types of businesses like smoke shops aren't allowed within 1,000 feet of a school and he asked if this restriction will impact the tenants of the Riverdale Business Park and Mrs. Ford said it will be in the best interest of both developments if these types of businesses aren't side by side. Mr. Ford distributed a map showing how many Clearfield residents sent their children to the Bravo Arts Academy and he said this type of development will benefit the community and Mr. Eggett said the academy will also appeal to Hill Air Force Base employees. Chairman Jones asked if Bravo will shuttle older children to local elementary schools during the day and Mrs. Ford said that is the plan in Riverdale as it has worked well in Clearfield and Washington Terrace. He asked for any additional questions or concerns and none were noted.

Motion: Commissioner Hansen moved to give preliminary approval to move forward for the Bravo Arts Academy proposal. Commissioner Eskelsen seconded the motion.

There was no discussion on the motion.

Call the Question: The motion passed unanimously.

F. Discretionary Items

Chairman Jones asked for any discretionary items and Commissioner Gailey said he recently complained about speeding in his neighborhood and Riverdale police officers responded and have been patrolling the area and he thanked them for addressing his concern. Mr. Eggett asked for consensus to purchase iPads for the Planning Commission and consensus was unanimous.

G. Adjournment

Motion: There being no further business to come before the Planning Commission, Commissioner Roubinet moved to adjourn the meeting. Commissioner Gailey seconded the motion. The motion passed unanimously. The meeting adjourned at 7:02 p.m.

Approved: October 14, 2014

Attest:

Blair Jones, Chairman

Ember Herrick, City Recorder

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
October 14, 2014**

AGENDA ITEM: E1

SUBJECT: Consideration of final review of Bravo Arts Academy proposal

PETITIONER: Bravo Arts Academy

INFORMATION: Exec Summ Bravo Arts Final Site Plan – Plan Comm [20141007]

PC Final Site Plan Review – 20141007

City Eng Final Review letter – 10-8-2014

Dept Staff Reports – Bravo Arts Final [20141007]

Comment response letter 9-30-14

Bravo Arts App [20140909]

Sewer Letter – Bravo Riverdale [20140909]

SITEPLAN

1414a2.1-30X42

Color Elevation

Eng Cost Est – Bravo Riverdale [20140926]

City Eng Cost Est Review letter – 10-8-2014

Bravo – Development Agree [20140918]

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Planning Commission Executive Summary

For the Commission meeting on: 10-14-2014

Petitioner: MAFCO Riverdale, LLC (Mike Ford)

Summary of Proposed Action

Mike Ford has applied for a Site Plan review of the Bravo Arts Academy as a proposed preschool/nursery school/education development located at approximately 5175 South 1500 West in a Planned Regional Commercial (CP-3) zone. This site plan is being proposed to amend the lot lines of lots 1 and 4 of the previously approved Hayward Subdivision and this lot line adjustment will need to be resolved and reflected appropriately when recorded with Weber County, should this site plan be approved in the future. A public hearing is not required to consider this Site Plan proposal. Following the presentation and discussion of the proposal, the Planning Commission may make a motion to recommend City Council approval of the Bravo Arts Academy site plan proposal, approval of the proposed site plan with any requested/suggested modifications, or not recommend City Council approval of the Bravo Arts Academy site plan. If the recommendation for approval was provided, then this matter could move forward to a future Final Site Plan review process with the City Council.

Title 10 Ordinance Guidelines (Code Reference)

This Final Site Plan review is regulated under City Code 10-25 "Development in All Zones", and is affected by City Codes 10-10B "Planned Commercial Zones (CP-1, CP-2, CP-3)", 10-13F "Special Use Districts - Hillside", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", 10-16 "Sign Regulations", and uses listed in 10-10A-4 "Commercial Zones (C-1, C-2, C-3)", which are all deemed conditional uses in Planned Commercial Zones (the conditional uses may be granted following City Council review and potential approval of the Development Agreement).

The proposed development parcels were previously established and subdivided in 2007-08 as Hayward Business Park, Lots 1 and 4. Since that time, the original applicant was not able to complete the original project intended for this site and the property went into default to the banking entity associated with the property. Mike Ford has since purchased this property in the hopes of developing the Hayward properties. The property is in a CP-3 zone which requires the developer of the site to participate in a development plan discussion with the City. Under City Code 10-10B-2, it states that the development plan should include an outline of uses indicated to be allowed in the CP-3 zone as part of the development plan approval. The developer has provided a draft development agreement that does list the intended uses for the proposed building spaces.

Attached with this executive summary is a document entitled "Final Site Plan Review - Bravo Arts Academy (Hayward Subdivision Lots #1 and 4)"; this is a supplementary document addressing items on the Preliminary Site Plan application document. Also attached, following this executive summary, are comments from the Public Works Director, the Fire Chief and contracted City Engineer (the Police Chief provide no comments for discussion). In addition, there is a response document from Reeve & Associates addressing the Preliminary review comments of City Staff. The Planning Commission should discuss any concerns raised by these summaries.

The Planning Commission and the applicant need to be sensitive to the fact that this is a CP-3 zone and per 10-10B-6 of the City Code, this development needs to have an acceptable relationship to, and further the

purposes of, the overall plan for this area of the City (i.e. aesthetic relationship to already existing buildings, maintenance of facilities, etc).

There is a concern associated with the Landscaping Plan (sheet 10) for this site; the plan reflects a large portion of the property to the south of the building as "Existing Vegetation to Remain" in that this could become a future code enforcement concern for the City.

A building elevation drawing is key in determining architectural and aesthetic compatibility to other buildings and uses within this CP-3 zone area. There is a concern regarding the building elevation in that the elevation documentation does not address the building materials that will be used on this project.

Additionally, the proposed site plan reflects the lot line adjustment of lots #1 and #4 of the Hayward Business Park. The petitioner should contact the Weber County Recorder/Surveyor's office to determine how best amend the Hayward Business Park plat to reflect this lot line adjustment. Per City and State Codes, there is no public hearing requirement for this proposed lot line adjustment.

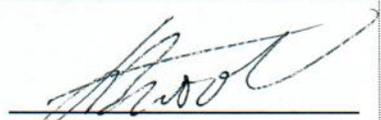
The Planning Commission is encouraged to briefly discuss signage plans with the petitioner to better understand how signage will work in this area; signage is regulated per City Code 10-16 (specifically section 8.(b.) for Commercial Districts); the applicant should be directed to adhere to this Code when contemplating signage.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. The Planning Commission may make a motion to recommend City Council approval of the Bravo Arts Academy site plan proposal, approval of the proposed site plan with any requested/suggested modifications, or not recommend City Council approval of the Bravo Arts Academy site plan. If the recommendation for approval was provided, then this matter could move forward to a future Final Site Plan review process with the City Council.

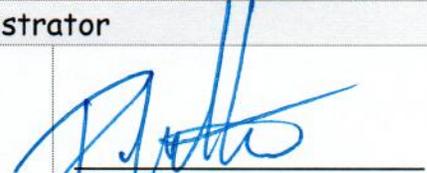
General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Commercial/Office/Business Park" and this proposed project would comply with this land use.

Legal Comments - City Attorney


Steve Brooks, Attorney

Administrative Comments - City Administrator


Rodger Worthen, City Administrator



Final Site Plan Review – Bravo Arts Academy (Hayward Subdivision Lots #1 and #4), 5175 South 1500 West

Completed by Mike Eggett, Community Dev. Director on 10/7/2014

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed final site plan review. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to provide a recommendation to the City Council for final site plan approval or non-approval for the proposed Bravo Arts Academy site plan with any additional comments or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	Sept. 9, 2014; Updated on Sept. 30, 2014
Date Application Submitted to City:	September 9, 2014
Date Fee Paid:	Paid on September 9, 2014 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown
Owner’s name, address, and phone number	Mike Ford, 620 East 1700 South, Clearfield, Utah 84015, 801-644-5100
Developer’s name, address, and phone number	MAFCO Riverdale, LLC – Mike Ford, 620 East 1700 South, Clearfield, Utah 84015, 801-644-5100
Approving agency’s name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; Blue Stakes Location number is on permit; no utility companies appear to be directly affected
Consulting Engineer’s name, address, and phone number	J. Nate Reeve, P.E. (Reeve & Assoc), 920 Chambers St, Suite 14, Ogden, Utah 84403, 801-621-3100
Licensed Land Surveyor’s name, address, phone number, signature, and seal	Reeve & Associates, Inc; Address & phone number same above; seal showing for Nate Reeve, signatures not shown
Date	Yes – September 3, 2014
Revision block with date and initials	Revision block shown

Sheet number and total sheets	Shown (10 total sheets)
<u>General</u>	
Street names	Shown – 1500 West 5175 South
Layouts of lots with lot numbers	Yes, shown as Hayward Lots #1 and #4
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is showing within allowed range
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Yes, shown and identified in packet
Space for notes	Yes, notes and legend sheet provided as sheet 2
Contours	Yes, shown on sheets 3, 5, and 8
Public areas	Sidewalks, park strips shown and identified
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
<i>PLAT SHEET</i>	<u>Not provided (lot line adjustment to occur) – defer to cover sheet</u>
<u>Title Block</u>	
Project name and address	Project name and address location shown
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	J. Nate Reeve (Reeves & Assoc), 920 Chambers St, Suite 14, Ogden ,Utah 84403, 801-621-3100
Date	Yes – September 3, 2014
Names of approving agents with titles, stamps, signatures, and license expiration dates	Shown on cover sheet in bottom right corner
Names of approving departments (Attorney, Planning Commission, Mayor, Recorder)	Not applicable
Consulting Engineer's stamp, signature, and license expiration date	Yes – Engineer agency's logo and contact information showing, signatures not shown
<u>Layout</u>	
Street Names	Shown – 1500 West 5175 South

Layouts of lots with lot numbers	Yes, shown as Hayward Lots #1 and #4
Bearings and distances for all property lines and section ties	<u>Defer to City Engineer review</u>
Legal description	<u>Defer to City Engineer review</u>
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50')	Yes, scale is showing
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	<u>May not be applicable</u>
Landscaping (location and type with area calculations)	Yes, provided on Sheet 10
Location of exterior lighting devices, signs, and outdoor advertising	Street light currently placed on corner of 1500 W 5175 S, refer to elevation drawing for more, could not find referenced "Site lighting plans" for parking area and development site
Location of underground tanks, dumpsters, etc	No underground tanks appear to be needed; dumpster location is shown (2 dumpster enclosures provided in parking lot)
<u>Additional Information</u>	
Benchmark	<u>NA, plat not provided</u>
Basis of bearings	<u>NA, plat not provided</u>
Legend	<u>NA, plat not provided</u>
<i>PLAN AND PROFILE SHEETS</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	J. Nate Reeve (Reeves & Assoc), 920 Chambers St, Suite 14, Ogden ,Utah 84403, 801-621-3100
Date	Yes – September 3, 2014
Scale	Yes, scale is showing within allowed range
Revision block with date and initials	Revision block shown
Sheet number and total sheets	Shown (10 total sheets)
<u>General</u>	
North arrow	Yes

Street names	Shown – 1500 West 5175 South
Lot numbers	Yes, shown as Hayward Lots #1 and #4
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet 3
<u>Signage</u>	Building signage shown on elevation drawings, must still comply with sign ordinance regulations; may inquire regarding future signage intent
Height	<i>Not available</i>
Size	<i>Not available</i>
Locations	Building sign location shown on elevation drawings, monument sign location shown on proposed site plan sheet; other signage locations not identified
Colors	<i>Not available</i>
Lighting	<i>Not available</i>
<u>New and Existing Buildings</u>	
Height and Size	New building - Height = 140'8" at the highest point (see elevation drawing for more); Building size = approx. 20,102 sq. ft.; Existing fences and utility structures shown on sheet 3
Location, setbacks, and all dimensions	Yes, shown on proposed site plan (sheet 4); front setback – minimum 57.54 feet at nearest point; rear setback – minimum 30.33 feet at nearest point; north side setback – minimum 130.50 feet at nearest point; south side setback – minimum approx. 232 feet at nearest point (not labeled); building site dimensions shown on plans, architectural renderings also provided
Type of construction	This information has not been provided and there are no details regarding the type of construction or materials listings ; building elevation drawings have been provided
Type of occupancy and proposed uses	Nursery school and preschool (daycare), Private Education (music and dance) as listed in Development Agreement
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	47.10% of site

Number of trees	13 trees, 62 shrubs, 87 perennials shown
Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping, and irrigation plan shown; gentle berming along the road, as required in 10-14-12 (B.)(2.) shown, <u>new lot #4 vegetation to remain natural and or lightly landscaped</u>
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the gravel mulch areas of building as well as some of the plantings; for more, inquire of the developer
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Location and height of fence placement meets all requirements of City Code; 6' fences will be installed
Materials proposed for construction	External fence will be 6' vinyl and all internal fences will be 6' chain link
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	71 stalls are provided and shown; handicapped parking spaces are provided and shown; size meets city requirements; <u>adequate parking for use</u>
Location of employees' parking, customer parking, and handicapped parking	Established as noted above
Internal circulation pattern	Internal flow arrows have been provided to show internal circulation patterns
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown at 20' and 24' wide respectively
Circulation pattern	Access circulation to be encouraged from north ingress point southward through site to south egress point then back towards Riverdale Road
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Yes, shown on plans and identified as 60' r.o.w. on multiple plan drawings
Face of curb lines	Yes, this is shown
Centerline slope	Shown on page 3 and established per previous road development
Signing and striping	<u>Signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works if applicable;</u>

Light poles	Street light currently placed on corner of 1500 W 5175 S, could not find referenced "Site lighting plans" for parking area and development site
Street lights	Yes, shown and identified
Street name signs	<u>Signing installation should be coordinated with public works dept and paid for by applicant;</u>
Stop signs	<u>Signing installation should be coordinated with public works dept and paid for by applicant;</u>
UDOT approval (if required for project)	Not applicable for this application
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown as a 4'; 4" road base placement defined on sheet 7
Planting Strip	Yes, shown as 4.5'
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on sheet 5 and detail drawing on sheet 7
Slope of gutter	Shown on multiple sheets of plans
Manholes	Shown as already existing of multiple sheets
Invert elevations	Shown on multiple sheets, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets of plans
Ditches, location and ownership	No ditches or waterways of note shown
Approval to pipe, reroute or use	Other than future City approval, no other approval required, <u>defer to City Engineer</u>
Calculations for retention system	Shown on grading plan
Method of storm water clean-up	Shown on sheet 8 and 9 (Storm Water Pollution Prevention Plan Exhibit and Plan Details)
<u>New and Existing Sanitary Sewers</u>	
Manholes	Shown on multiple sheets of plans
Invert elevations	Shown on multiple sheets, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Water meter location shown, size of water meter identified; type per public works. Location of new and existing valves shown. Three existing fire hydrants shown, <u>no new hydrants proposed.</u>

<u>New and Existing Gas Lines</u>	
Size and type	Existing gas lines shown, <u>size and type not shown</u> ; new gas lines location shown, <u>size and type not shown</u>
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing power box locations shown; existing power lines shown, <u>size and type not shown</u> ; new electrical line location shown, <u>size and type not shown</u>
Location of power poles	Existing power poles are shown
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone boxes shown, <u>poles and associated manholes not shown if applicable</u>
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	<u>Cable TV lines not shown and may not be applicable</u>
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Shown on sheet 7 (Civil Details) with 9" road base
Cross section of curb and gutter (standard 30" high back)	Shown on sheet 7 (Civil Details), <u>defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	Shown on sheet 5 (Grading Plan); <u>defer to City Engineer</u>
Cleanout box	Shown on sheet 5 (Grading Plan); <u>defer to City Engineer</u>
Thrust blocking	Shown on sheet 7 (Civil Details); <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	None showing and may not be applicable
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical previously provided in 2007 as part of subdivision review at the time; no new soils reports have been provided and not much has changed since 2007
Drainage and runoff calculations	Yes, shown on sheet 5 (Grading Plan)
Water right transfer documentation	Review with Public Works
Copy of protective covenants, codes, and regulations for development	None provided or anticipated with this project; development agreement submitted
Eight (8) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested;

Building elevation renderings	Yes, these have been provided
Corp of Engineers approval (if required)	Not applicable or required
Zoning compliance	Yes, CP-3, subject to approval of a Development Plan and Development Agreement document listing approved commercial uses within this development; Development Agreement draft has been submitted for review
RDA compliance (if applicable)	Not applicable in this matter
Use compliance	Yes, C-3 uses anticipated for this development; all approved uses, per CP-3 zoning language approval and development agreement approval
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works and Fire Department comments have been provided
Traffic study	Not currently provided; <u>likely not needed to provide any analysis unless otherwise requested</u>
All Planning Commission and City Staff conditions for approval have been met	<u>Currently being review by Planning Commission</u>

8 October 2014

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Bravo Arts Academy**
Subj: Site Plan – 2nd review

Dear Mike,

I have reviewed the above referenced site plan drawings and submit the following review comments, which should be considered:

General Comments:

1. The proposed Site Plan will be built over Lot #1 and Lot #4 of the Hayward Business Park Subdivision. If the lots have not been combined that action is needed. A lot line adjustment will be accepted as recommended by the developers Engineer. I would recommend that the lot line adjustment be completed with copies of the action being submitted to the City prior to approval to begin construction.
2. The front or easterly property line needs to adjust to 12” west of the proposed new sidewalk. The sidewalk needs to be a part of the 1500 West right-of-way.
3. Site lighting plans need to be submitted for review. The site lighting plans need to be prepared with consideration of the neighboring residential areas to the South and West. The site lighting drawings from the Architect are needed prior to approval.

Should you have any questions feel free to contact our office for clarifications.

Sincerely,
CEC, Civil Engineering Consultants, PLLC.



N. Scott Nelson, P.E.
City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official and Inspector

DEPARTMENTAL STAFF REPORTS – 9/16/2014 & 10/7/2014

From: Shawn Douglas
Sent: Monday, October 7, 2014 9:34 AM
To: Mike Eggett
Subject: Bravo

Mike the following are the items I have for Bravo Arts Academy.

- 1- They need to show BMPS for the storm water system after the construction. They will also need to record the required storm water elements with plat.
- 2-There is no backflow assembly shown for the sprinkler system.
- 3-What BMPs will be used to control sediment, oils and flotables before they reach the city storm water system. What model and a drawing of the stormseptor should be included.
- 4-Some of the existing sanitary sewer manholes will be in landscaped areas behind the curb and gutter. They need to provide for access to the existing sewer manholes for cleaning and repairs.
- 5-The concern for sewer capacity still exists, the city is currently trying to verify flows in this area. The developer offered to put in measures to reduce sewer flows from the development, what type of reduction in outflows will they be able to provide?
- 6-Any unused water service will need to be disconnected at the corp stop.
- 7-They need to provide information on the kitchen and what they are going to do for a grease trap.

Shawn Douglas
Riverdale City Public Works
801-394-5541 Ext. 1217
Riverdale City
4600 S. Weber River Drive
Riverdale, UT 84405

From: Roger Bodily
Sent: Tuesday, September 16, 2014 11:34 AM
To: Mike Eggett
Subject: RE: Bravo Arts Academy

Mike

At this point, I do not have any major concerns. I have looked at the hydrant situation in the area and everything appears to be in order. I worked with Bravo Arts when they built the one in Clearfield... should be a great addition to our community...

Roger



September 30, 2014

Mike Eggett/Scott Nelson
Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405

Project: *Bravo Arts Academy*
Re: *Preliminary Site Plan Review*

Below please find our response to comments dated September 18, 2014. We will address each comment that was addressed within the updated plan set.

Community Development Review

Each of the Highlighted items from the Community Development review have been addressed below.

1. The personal information (stamp, address, firm, etc) for Nate Reeve have been provided on the plans.
2. Lot numbers have been shown in multiple locations in the plan set.
3. Tax ID numbers have been included.
4. All PUEs have been identified.
5. The sidewalk and the park strip have been noted on the plans. The plans call for 4.5' park strip and 4' sidewalk, see the Proposed Site Plan.
6. Scale is shown on the plans.
7. Sheet 1 has an "Approving Agency" signature block in the bottom right hand corner.
8. All existing lighting has been shown. Per drawings done by our office for the Riverdale Business park project, a light pole is to be constructed at the intersection. Site lighting plans.
9. A two inch water meter and lateral have been shown on the Utility Plan.
10. The existing fire hydrants have been shown.
11. The gas and power have been shown on the plans.
12. Internal flow arrows have been provided to show internal circulations paths.
13. The external fence will be 6' vinyl and all internal fences will be 6' chain link.
14. The proposed monument sign has been shown on plans.
15. Architect to provide, building elevations, dimensions, construction type, and site lighting plan.

Civil Engineering Consultants General Comments

1. An electronic copy will be provided at time of final approval.
2. The note stating deteriorated, damaged or missing surface improvements to be replaced as been added to the plans.
3. A lot line adjustment will be done on Lots 1 and 4.
4. The City will provide the address.

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ogden@reeve-assoc.com • reeve-assoc.com



5. Per our conversations with the City, it was our understanding the easterly property line is to remain in its current location.
6. The site lighting plan will be provided by the architect.
7. A note referring to right of way, building and detention basin maintenance has been added to plan.
8. Per ADA Standard 502.2 and 502.3, the dimensions we have on site meet these standards.
9. The ADA ramp has been added per request.
10. The inverts of the sewer have been provided on plan to show the depth of the sewer.
11. The storm water detention has been modified as follows:
 - a. The detention basin is to be sod, see the Landscape plan.
 - b. An additional emergency spillway was provided from the control structure to the street. The grading plan shows the 2' wide rip-rapped spillway.
 - c. A note has been added that the roof drains tie directly into the basin or closest storm drain facility.
 - d. 12" min freeboard has been provided.
 - e. A 1% basin slope has been provided.
 - f. Finished graded elevations have been provided for the detention basin.
 - g. A stormceptor manhole has been called for on plans.
12. All water ways have been increased to 4'.
13. All grade breaks in the asphalt have been shown.
14. The ex. Sewer near the intersection is to remain and be extend for future use of Lot 4.
The sewer lateral near the north access is to be capped per City standards.
15. A 4" sewer with 2% min. slope as been specified on plan.
16. A retaining wall detail has been provided.
17. A double check back flow has been provided for irrigation use.

We appreciate your review and trust we have changed and/or clarified all of your comments referenced herein.

If you have any questions, or we can be of further assistance, please let us know.

Sincerely,
REEVE & ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'Nate', is written over a horizontal line.

Nate Reeve, P.E.
Principal Engineer
nreeve@reeve-assoc.com

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ogden@reeve-assoc.com • reeve-assoc.com



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION
APPLICATION FOR COMMERCIAL OR MANUFACTURING
SITE PLAN APPROVAL

CASE NO: 2014-05 DATE SUBMITTED: 9-9-2014

APPLICANT'S NAME: MIKE FRED

ADDRESS: 620 E. 1700 S.

PHONE: (801) 644 5100 TAX I.D. NO: 084930001

ADDRESS OF SITE: 5175 S & 1500 W.

APPLICANT'S INTEREST: OWNER

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 2.75 of property in the CP-3 zone in (sq. ft./acreage)

accordance with the attached site plan.

[Signature]
Signature of Applicant

[Signature]
Signature of Property Owner

I authorize _____ to act as my representative in all matters relating to this application.

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per acre or portion of
Fee: \$ 550.00 Date paid: Sept. 9, 2014

Planning Commission set public hearing: Yes No Date of Public Hearing: _____

Planning Commission scheduled to hear this application for site plan approval on:

Date: _____ Decision of Commission: _____

City Council set public hearing: Yes No Date of Public Hearing: _____

City Council scheduled to hear this application for site plan approval on:

Date: _____ Decision of Council: _____

RIVERDALE CITY CORPORATION
4600 SOUTH WEBER RIVER DRIVE
RIVERDALE UT 84405

394-5541

Receipt No: 15.482932

Sep 9, 2014

FORD, MIKE

Previous Balance:	.00
MISCELLANEOUS - ZONING & SUBDIV. FEE	550.00
10-34-1500 ZONING & SUB. FEES	

Total:	550.00
--------	--------

CHECK	Check No: 1139	550.00
Total Applied:		550.00

Change Tendered:	.00
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Duplicate Copy

09/09/2014 04:45PM



September 9, 2014

Mike Eggett / Shawn Douglas
Riverdale City
4600 S. Weber River Drive
Riverdale, UT 84405

Subject: Bravo Arts Academy, 1500 West – Riverdale, UT.

Dear Mike and Shawn:

Per our meeting with the City to discuss the above referenced project we discussed the need to provide projected sanitary sewer flow rates. Based upon this requirement, we are providing the information below.

As recommended by Shawn, we analyzed the existing water consumption of the Bravo site in Clearfield, UT. We reviewed these water bills since the Clearfield and proposed Riverdale projects are similar in size. To obtain a realistic average demand of water consumption, we utilized the winter months when exterior irrigation was not in use. Based upon this averaging, the Clearfield facility is utilizing approximately 30,000 gallons per month or 1500 gallons per work day. In addition, the projected water use within Bravo is also outside of the average water use within this sewer contributory area which consists primarily of residential homes. Per Central Weber Sewer District, the average residential usage peaks are from 6:00am to 8:00 am and from 5:30pm to 9:00pm. The projected flows from the Bravo are from 8:00am to 5:00pm.

In 2007, the City approved the Hayward Business Park which Bravo is now included within. Lots #1 and #4 were approved to provide 25,600 s.f. of commercial space. This project would have generated approximately 28,200 gallons per month based upon projected designs and plumbing fixture counts.

Based upon the nature of the business, projected hours of water consumption, and previous City approvals, we conclude that the proposed Bravo Arts Academy will not negatively degrade the sewer system from what was previously accounted for and approved in this contributory area.

If you have any additional questions or concerns, please let me know.

Sincerely,
REEVE & ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read 'Nathan', is written over a horizontal line.

J. Nathan Reeve, PE
Principal / President
nreeve@reeve-assoc.com

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ogden@reeve-assoc.com • reeve-assoc.com

Project Narrative/Notes/Revisions

- 1) 9/9/14 RH - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 2) 9/30/14 ST - CITY REVIEW COMMENTS.

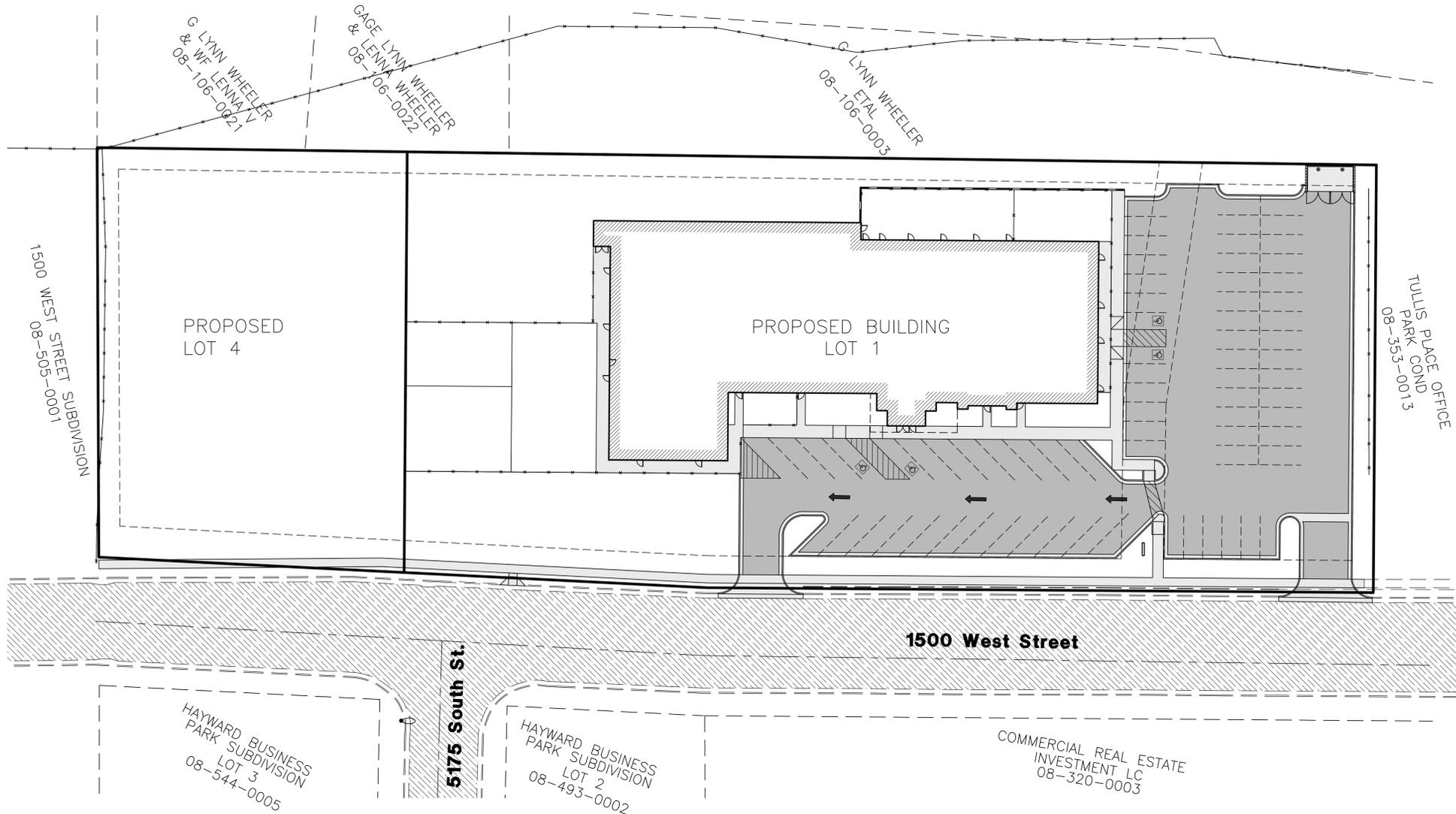
BRAVO ARTS ACADEMY

Site Plans

RIVERDALE CITY, WEBER COUNTY, UTAH
SEPTEMBER 2014



Vicinity Map
NOT TO SCALE



Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes & Legend Sheet
- Sheet 3 - Existing Site Plan
- Sheet 4 - Proposed Site Plan
- Sheet 5 - Grading Plan
- Sheet 6 - Utility Plan
- Sheet 7 - Civil Details
- Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 9 - Storm Water Pollution Prevention Plan Details
- Sheet 10 - Landscape Plan

Site Information

PARKING STALLS.....	71
TOTAL AREA.....	119,893 s.f.
BUILDING AREA.....	20,102 s.f. 16.77%
HARD SURFACED AREA.....	43,316 s.f. 36.13%
LANDSCAPE AREA.....	56,475 s.f. 47.10%

Approving Agency

RIVERDALE CITY
4600 SOUTH WEBER RIVER DRIVE
RIVERDALE UTAH 84405

APPROVED _____ DATE _____

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Elevation Datum

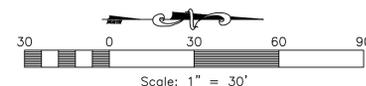
SITE BENCHMARK:
BRASS CAP MONUMENT AT CENTER OF SECTION 13, T.5N., R.2W., SLB&M U.S. SURVEY SET IN 1988
GPS DERIVED ELEVATION = 4473.540'

Developer Contact:

MAFCO Riverdale, LLC
Mike Ford
620 East 1700 South
Clearfield, UT 84015
PH: (801) 644-5100

Blue Stakes Location Center

Call: Toll Free
1-800-662-4111
Two Working Days Before You Dig

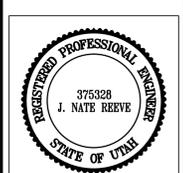


Reeve & Associates, Inc.
920 CHAMBERS STREET, SUITE 14, OGDEN, UTAH 84403
TEL: (801) 621-2100 FAX: (801) 621-2666 WWW.REEVE-ASSOC.COM
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
	9-30-14	ST City Comments

Bravo Arts Academy
RIVERDALE CITY, WEBER COUNTY, UTAH

Cover/Index Sheet



Project Info.

Engineer:	J. NATE REEVE, P.E.
Drafter:	R. HANSEN
Begin Date:	SEPTEMBER 3, 2014
Name:	BRAVO ARTS ACADEMY
	RIVERDALE
	SITE PLAN
Number:	4671-09

Sheet	10
1	Sheets

General Notes:

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO UTILITY, FILL, CONCRETION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
- TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTING IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE

Utility Notes:

- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS). PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED, PRIOR TO COMMENCING ANY EXCAVATION WORK. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINKING GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- Spraying DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
- TRACKING STRAW PERPENDICULAR TO SLOPES
- INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

—W—	= PROPOSED CULINARY WATER LINE
—EX.W---	= EXISTING CULINARY WATER LINE
—SS—	= PROPOSED SANITARY SEWER LINE
—EX.SS---	= EXISTING SANITARY SEWER LINE
—SD—	= PROPOSED STORM DRAIN LINE
—EX.SD---	= EXISTING STORM DRAIN LINE
—LD—	= PROPOSED LAND DRAIN LINE
—EX.LD---	= EXISTING LAND DRAIN LINE
—SW—	= PROPOSED SECONDARY WATER LINE
—EX.SW---	= EXISTING SECONDARY WATER LINE
—IRR—	= PROPOSED IRRIGATION LINE
—EX.IRR---	= EXISTING IRRIGATION LINE
---OHP---	= EXISTING OVERHEAD POWER LINE
---TEL---	= EXISTING TELEPHONE LINE
---GAS---	= EXISTING NATURAL GAS LINE
—	= EXISTING EDGE OF PAVEMENT
×—×—×—	= FENCE LINE
—	= MASONRY BLOCK/RETAINING WALL
—	= DITCH/SWALE FLOWLINE
●	= PROPOSED FIRE HYDRANT
○	= EXISTING FIRE HYDRANT
●	= PROPOSED MANHOLE
○	= EXISTING MANHOLE
●	= PROPOSED SEWER CLEAN-OUT
X	= PROPOSED GATE VALVE
X	= EXISTING GATE VALVE
■	= PROPOSED WATER METER
■	= EXISTING WATER METER
■	= PROPOSED CATCH BASIN

Legend

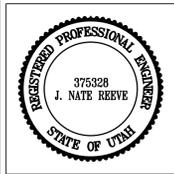
□	= EXISTING CATCH BASIN	L.F.	= LINEAR FEET
⊙	= EXISTING SPRINKLER	NG	= NATURAL GRADE
⊕	= PLUG W/ 2" BLOW-OFF	O.C.	= ON CENTER
●	= AIR-VAC ASSEMBLY	PC	= POINT OF CURVE
▼	= PROPOSED REDUCER	PRC	= POINT OF REVERSE CURVE
⊥	= PLUG & BLOCK	PRVC	= POINT OF REVERSE VERTICAL CURVE
○	= STREET LIGHT	PT	= POINT OF TANGENT
— —	= SIGN	PP	= POWER/UTILITY POLE
BVD	= BUILDING	P.U.E.	= PUBLIC UTILITY BASEMENT
BVC	= BEGIN VERTICAL CURVE	R/C	= REBAR & CAP
C&G	= CURB & GUTTER	RCB	= REINFORCED CONCRETE BOX
CB	= CATCH BASIN	RCP	= REINFORCED CONCRETE PIPE
C.F.	= CUBIC FEET	RIM	= RIM OF MANHOLE
C.F.S.	= CUBIC FEET PER SECOND	R.O.W.	= RIGHT-OF-WAY
CL	= CENTERLINE	SD	= STORM DRAIN
DI	= DUCTILE IRON	SS	= SANITARY SEWER
EP	= EDGE OF PAVEMENT	SW	= SECONDARY WATER
EVC	= END VERTICAL CURVE	TOA	= TOP OF ASPHALT
FC	= FENCE CORNER	TBC	= TOP BACK OF CURB
FF	= FINISH FLOOR	TOE	= TOE OF SLOPE
FFE	= FINISH FLOOR ELEVATION	TOP	= TOP OF SLOPE
FG	= FINISHED GRADE	TOW	= TOP OF WALL
FH	= FIRE HYDRANT	TSPW	= TOP OF SIDEWALK
FL	= FLOW LINE	VPI	= VERTICAL POINT OF INTERSECT.
GB	= GRADE BREAK	W	= CULINARY WATER
HDPE	= HIGH DENSITY POLYETHYLENE PIPE	WM	= WATER METER
INV	= INVERT		= EXISTING PAVEMENT
IRR	=IRRIGATION		= PROPOSED PAVEMENT
LD	= LAND DRAIN		= PROPOSED CONCRETE



REVISIONS	DATE	DESCRIPTION
	9-30-14	ST City Comments

Bravo Arts Academy
RIVERDALE CITY, WEBER COUNTY, UTAH

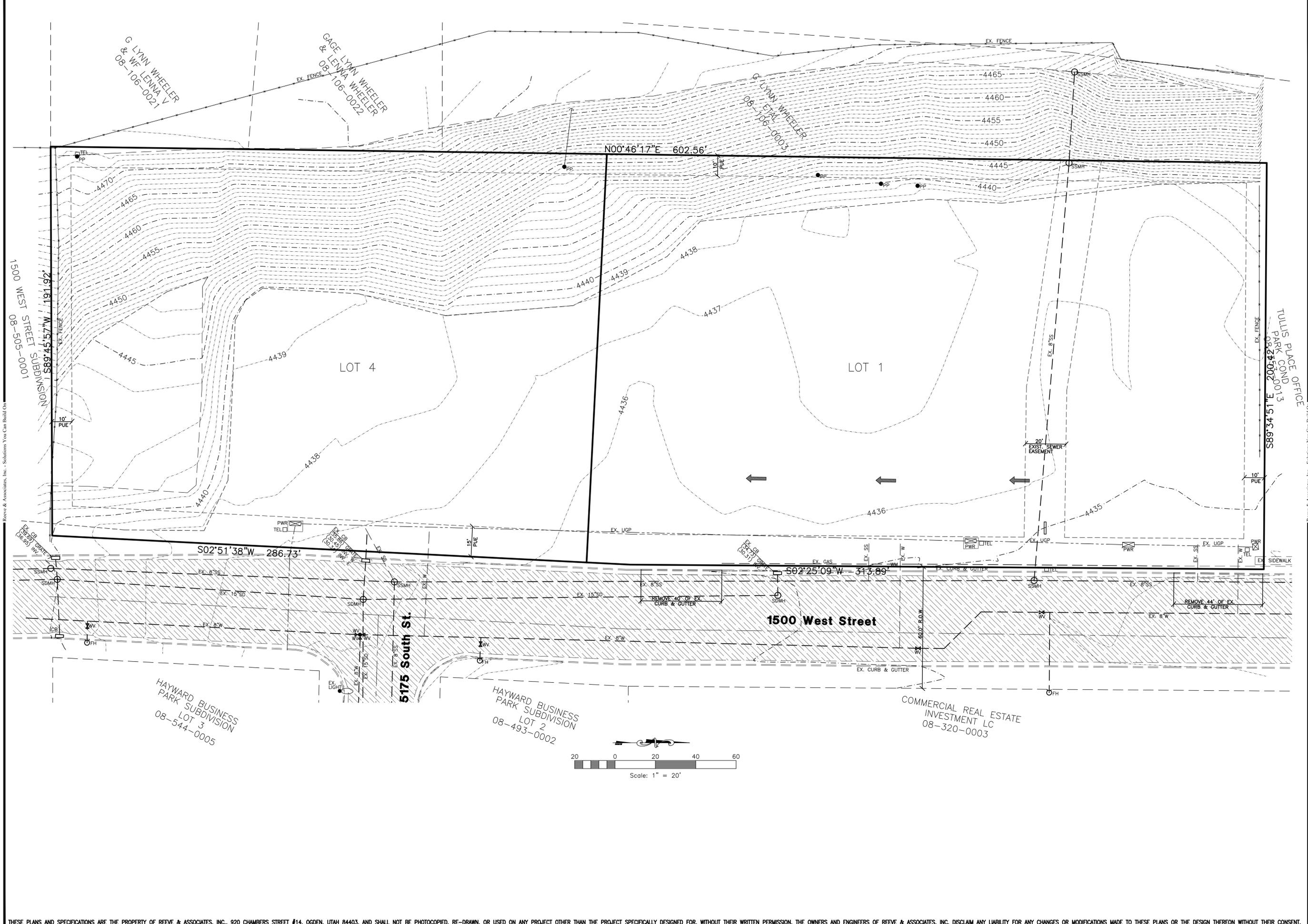
Notes & Legend Sheet



Project Info.

Engineer: J. NATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2014
 Name: BRAVO ARTS ACADEMY
 RIVERDALE
 SITE PLAN
 Number: 4671-09

Sheet	10
2	Sheets



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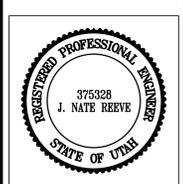
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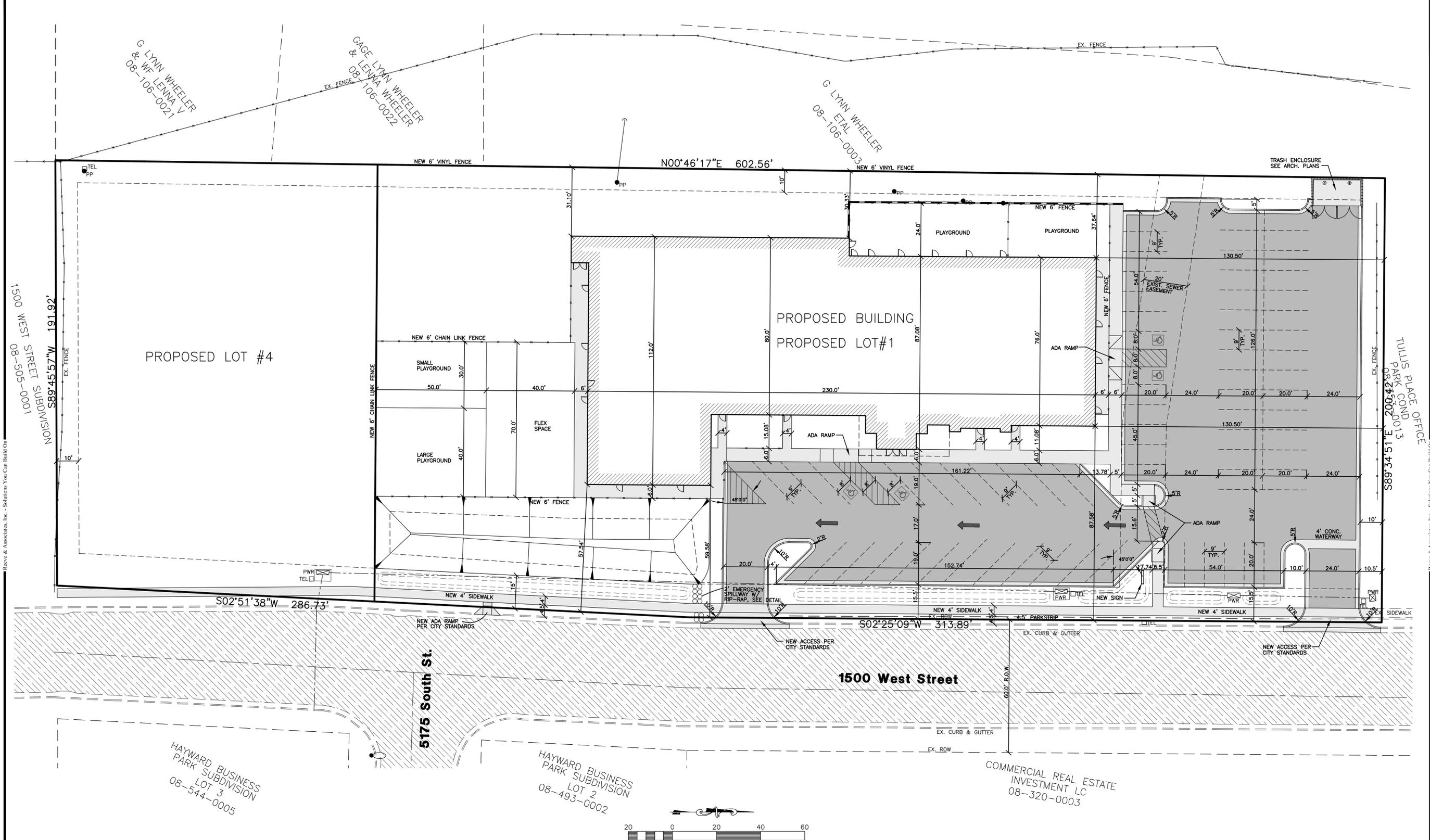
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 RIVERDALE CITY, WEBER COUNTY, UTAH

Existing Site Plan

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GAGG LYNN WHEELER & WFL LEMMA V 08-106-0021

GAGG LYNN WHEELER & WFL LEMMA V 08-106-0022

G LYNN WHEELER ETAL 08-106-0003

1500 WEST STREET SUBDIVISION 08-505-0001

PROPOSED LOT #4

PROPOSED BUILDING PROPOSED LOT#1

TULLIS PLACE OFFICE 08-423-0013

S02°51'38"W 286.73'

S02°25'09"W 313.89'

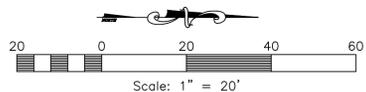
1500 West Street

5175 South St.

HAYWARD BUSINESS PARK SUBDIVISION LOT 3 08-544-0005

HAYWARD BUSINESS PARK SUBDIVISION LOT 2 08-493-0002

COMMERCIAL REAL ESTATE INVESTMENT LC 08-320-0003



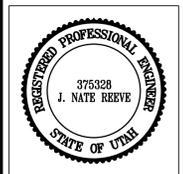
- NOTES:
- 1) ALL DETERIORATED OR DAMAGED SURFACE IMPROVEMENTS SURROUNDING THE PERIMETER OF THE PROJECT WILL NEED TO BE REPLACED.
 - 2) PROJECT OWNERS MUST MAINTAIN ALL PARK STRIPS ON CITY RIGHT-OF-WAYS AND ALL LANDSCAPING IMPROVEMENTS TO THE SIDES AND REARS OF THE BUILDING AND IN THE DETENTION BASIN.

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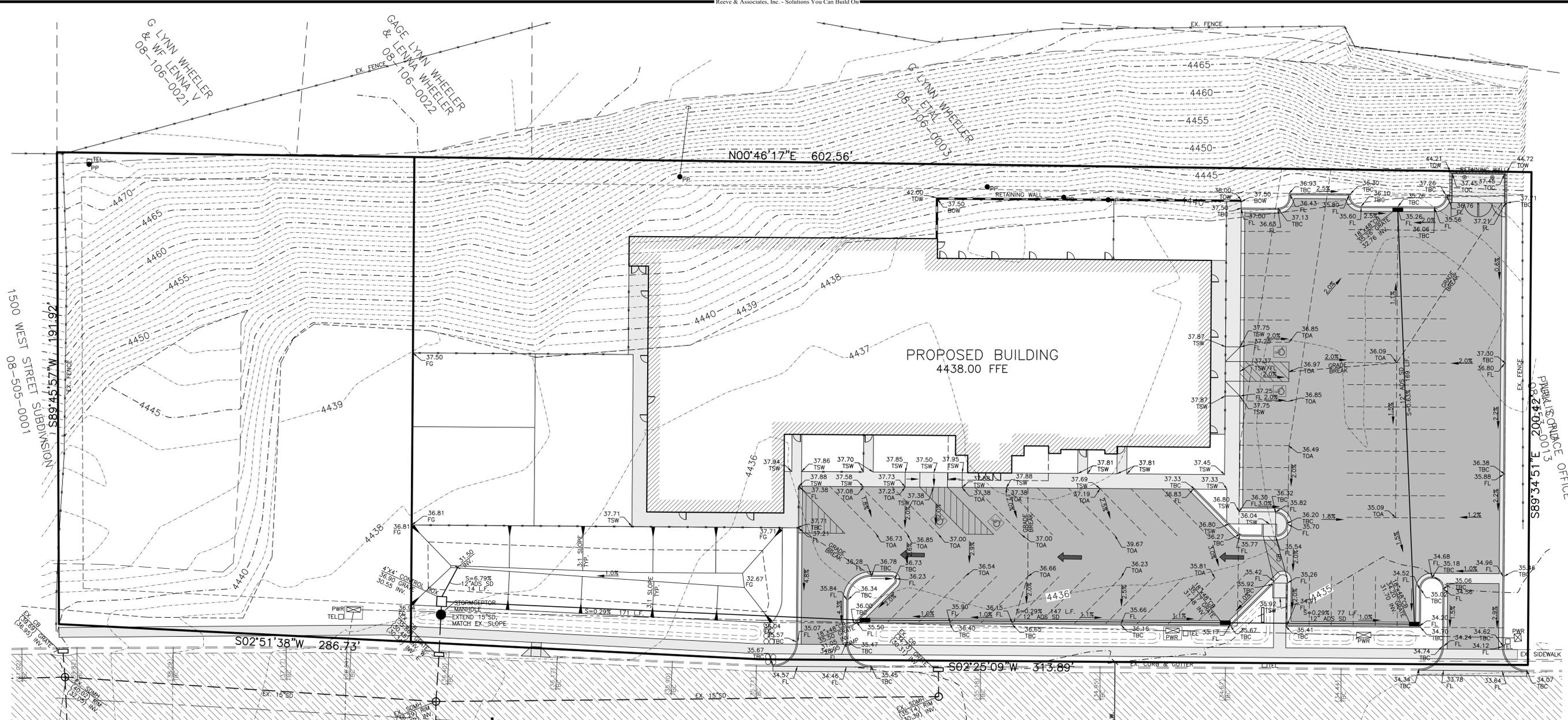
Bravo Arts Academy
 RIVERDALE CITY, WEBER COUNTY, UTAH

Proposed Site Plan



Project Info.
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 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2014
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 Number: 4671-09

Sheet **10**
4 Sheets



Storm Runoff Calculations
 Bravo Arts Academy
 9/8/2014

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the Riverdale UT area taken from data compiled by NOAA Atlas 14, using a 50 year storm.

Runoff storm water has been calculated for two different sets of conditions, one being the existing undeveloped land and the other with land fully improved. The difference between the two quantities will be retained in a holding pond. All water that runs off and over the property at present will be diverted into the holding pond and released at a reduced rate into the existing drainage system.

The calculations are as follows:

- Runoff from the undeveloped existing land.

Runoff Coefficient	C = 0.2
Rainfall Intensity	i = 1.8 IN/HR.
Runoff Quantity	Q = 0.8
Acreage	A = 2.75 ACRES

$$Q(out) = C \cdot i \cdot A = 0.88 \text{ CFS}$$
- Runoff from developed land

Runoff Coefficient	C = 0.9
Floored Area	43316
Landscaped Area	56475
Roof	20102
Weighted Runoff Coefficient	C = 0.55
Rainfall Intensity	i = varies with time
Runoff Quantity	Q = CIA
- Detention Basin

Volume in	Q · t
Volume out	0.88 · t

The capacity of the detention basin is calculated as the maximum difference between the volume flowing in and the volume flowing out.

The outflow from the detention basin is limited to outflow if undeveloped. Use 0.88 cfs for Q outflow

The required volume of the detenti 4,968 cubic feet

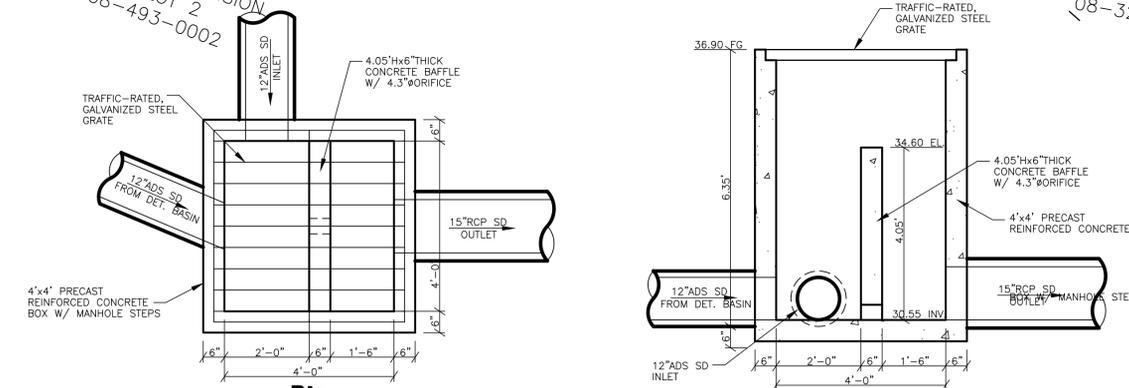
USE A 4.3 INCH DIAMETER ORIFICE AT OUTLET

HAYWARD BUSINESS PARK SUBDIVISION
 LOT 3
 08-544-0005

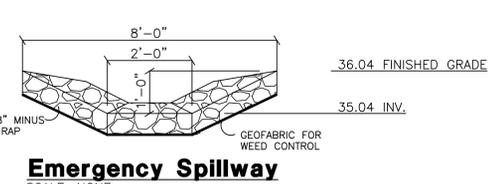
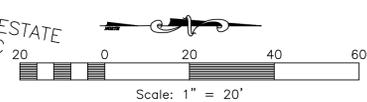
HAYWARD BUSINESS PARK SUBDIVISION
 LOT 2
 08-493-0002

COMMERCIAL REAL ESTATE INVESTMENT LC
 08-320-0003

DETENTION VOLUME CALCULATIONS
 FREEBOARD = 1.4'
 HIGH WATER AREA (4434.60) = 2,969 S.F.
 BOTTOM AREA (4431.50) = 338 S.F.
 $(2,969 + 338) / 2 = 1,654 \text{ S.F. AVG.}$
 $1,654 \text{ S.F.} \times 3.1' \text{ DEEP} = 5,127 \text{ C.F.}$
 $5,127 \text{ C.F.} > 4,968 \text{ C.F. (REQ'D.)} = \text{OK}$



Detention Control Box
 SCALE: 1" = 2'



Emergency Spillway
 SCALE: NONE

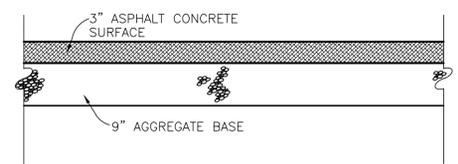
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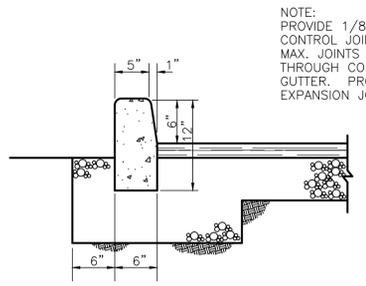
Bravo Arts Academy
 RIVERDALE CITY, WEBER COUNTY, UTAH

Grading Plan

Project Info.
 Engineer: J. NATE REEVE, P.E.
 Drafter: R. HANSEN
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 RIVERDALE
 SITE PLAN
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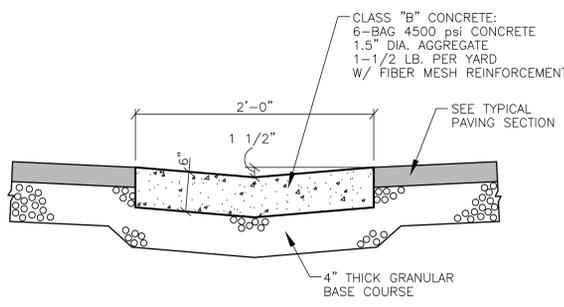


Typical On-Site Asphalt Detail
SCALE: NONE
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)



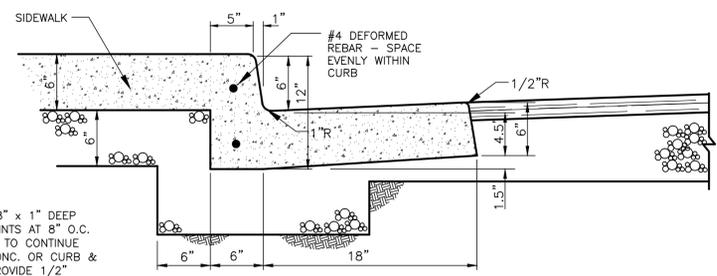
On-Site 'A' Type Curb Detail
SCALE: NONE
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

NOTE:
PROVIDE 1/8" x 1" DEEP CONTROL JOINTS AT 8' O.C. MAX. JOINTS TO CONTINUE THROUGH CONC. OR CURB & GUTTER. PROVIDE 1/2" EXPANSION JOINTS AT 30' O.C.



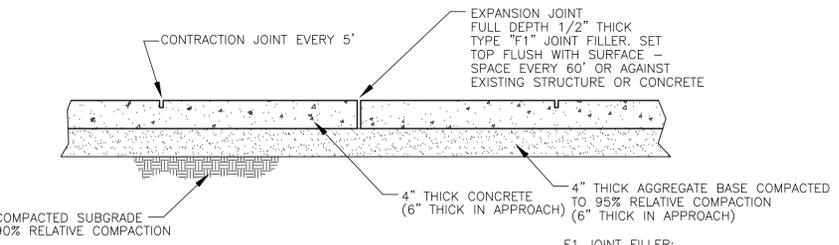
2' Waterway Detail
SCALE: NONE
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

CLASS "B" CONCRETE:
6-BAG 4500 psi CONCRETE
1.5" DIA. AGGREGATE
1-1/2 LB. PER YARD W/ FIBER MESH REINFORCEMENT



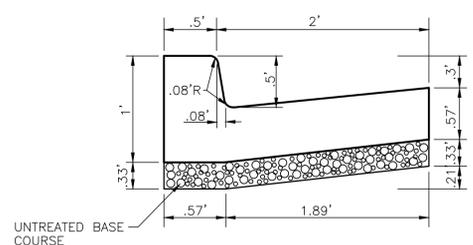
Sidewalk/Curb & Gutter Detail
SCALE: NONE
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

NOTE:
PROVIDE 1/8" x 1" DEEP CONTROL JOINTS AT 8' O.C. MAX. JOINTS TO CONTINUE THROUGH CONC. OR CURB & GUTTER. PROVIDE 1/2" EXPANSION JOINTS AT 30' O.C.

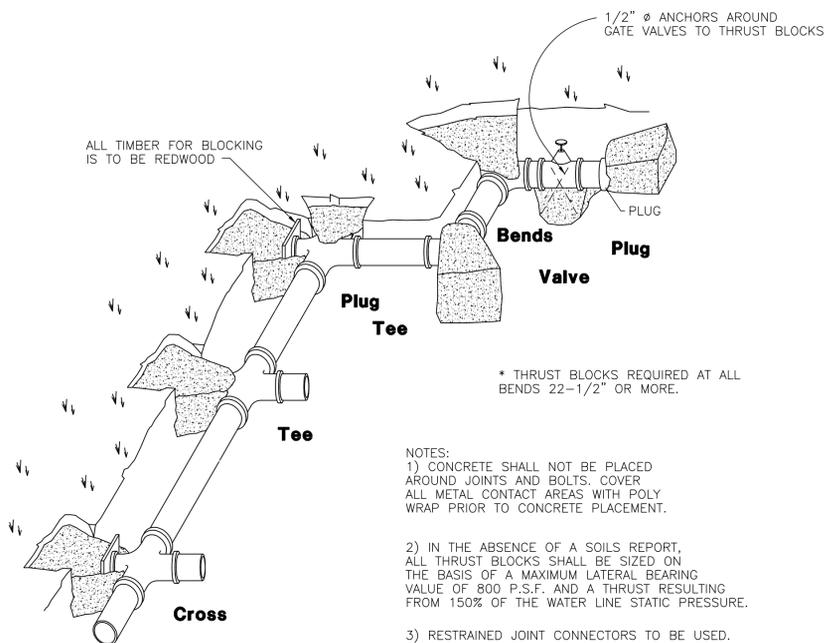


Concrete Sidewalk Section
SCALE: NONE
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

F1 JOINT FILLER:
BITUMINOUS (ASPHALT OR TAR) MASTIC PER ASTM D994; FORMED AND ENCASED BETWEEN 2 LAYERS OF BITUMINOUS SATURATED FELT OR 2 LAYERS OF GLASS-FIBER FELT.

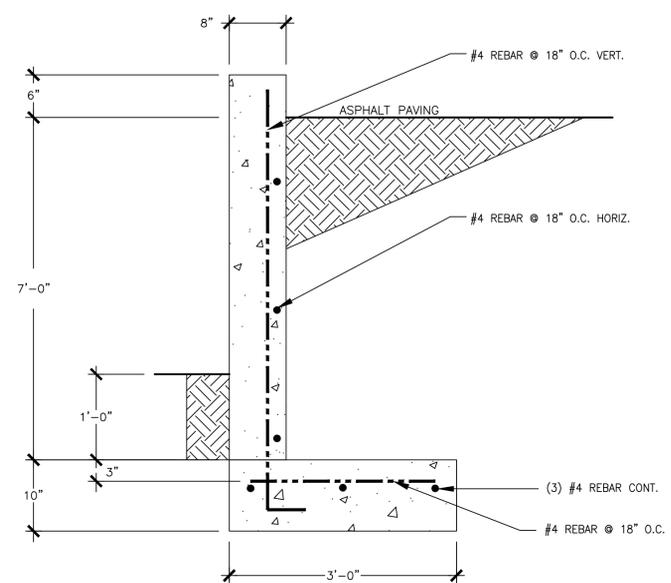


On-Site 'L' Type Curb & Gutter
SCALE: NONE
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)



Thrust Block Detail
SCALE: NONE

NOTES:
1) CONCRETE SHALL NOT BE PLACED AROUND JOINTS AND BOLTS. COVER ALL METAL CONTACT AREAS WITH POLY WRAP PRIOR TO CONCRETE PLACEMENT.
2) IN THE ABSENCE OF A SOILS REPORT, ALL THRUST BLOCKS SHALL BE SIZED ON THE BASIS OF A MAXIMUM LATERAL BEARING VALUE OF 800 P.S.F. AND A THRUST RESULTING FROM 150% OF THE WATER LINE STATIC PRESSURE.
3) RESTRAINED JOINT CONNECTORS TO BE USED.

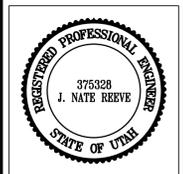


6' Retaining Wall w/ Railing
SCALE: NONE

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REVISIONS	DATE	DESCRIPTION
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Bravo Arts Academy
RIVERDALE CITY, WEBER COUNTY, UTAH
Civil Details



Project Info.

Engineer:	J. NATE REEVE, P.E.
Drafter:	R. HANSEN
Begin Date:	SEPTEMBER 3, 2014
Name:	BRAVO ARTS ACADEMY RIVERDALE SITE PLAN
Number:	4671-09

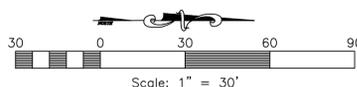
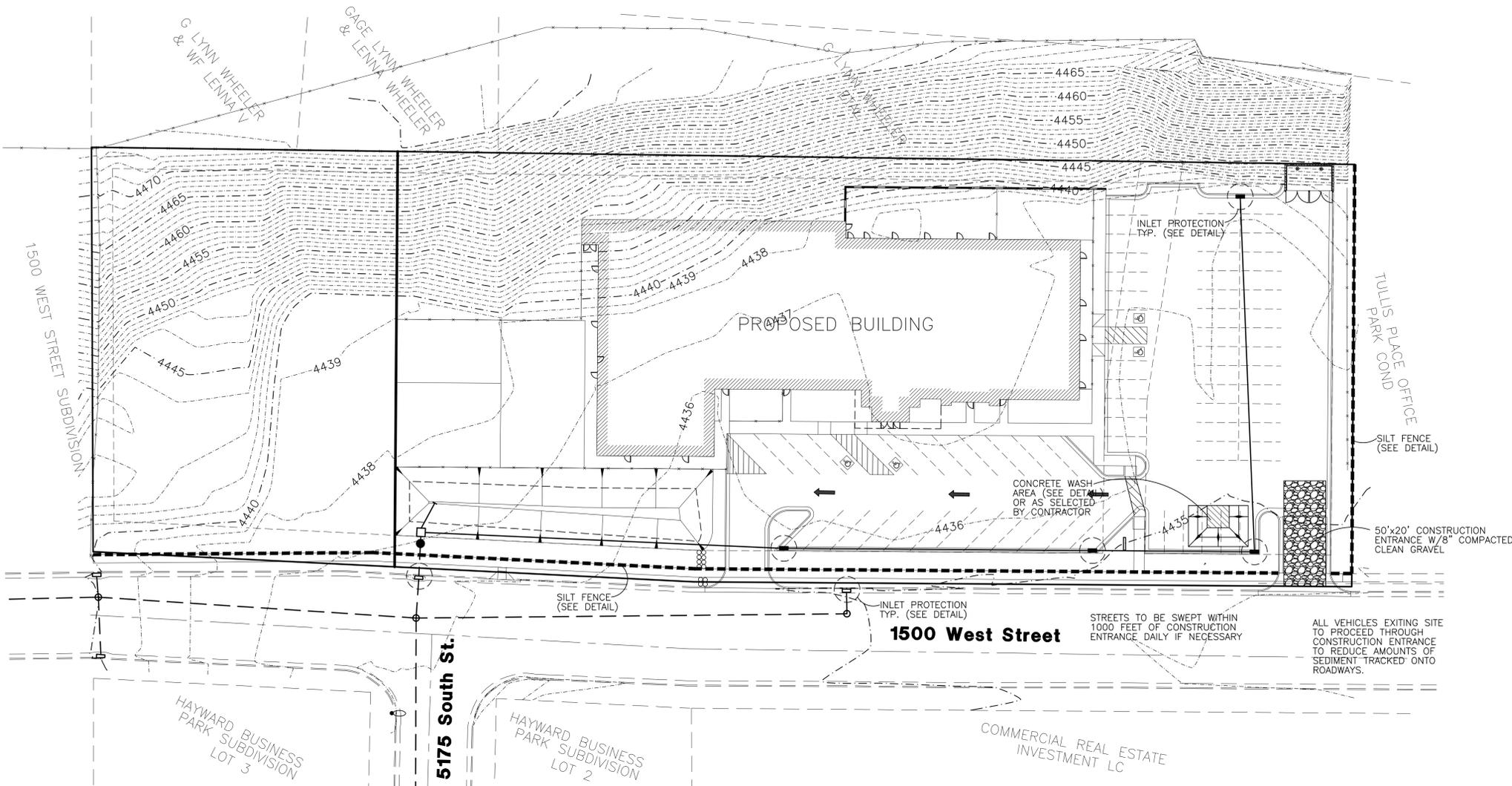
BRAVO ARTS ACADEMY

Storm Water Pollution Prevention Plan Exhibit

RIVERDALE CITY, WEBER COUNTY, UTAH
SEPTEMBER 2014



Vicinity Map
NOT TO SCALE

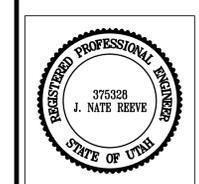


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Bravo Arts Academy
RIVERDALE CITY, WEBER COUNTY, UTAH

Storm Water Pollution Prevention Plan Exhibit



Project Info.

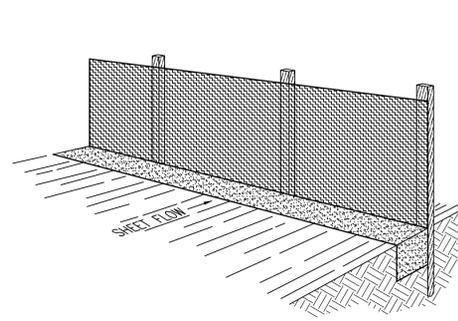
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 Number: 4671-09

Construction Activity Schedule

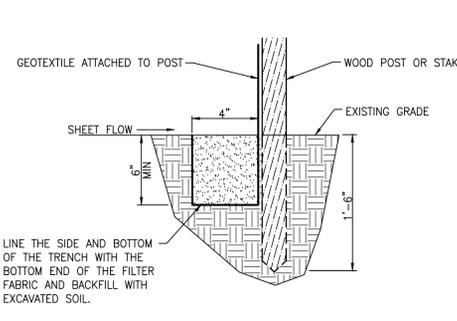
- PROJECT LOCATION.....RIVERDALE CITY, WEBER COUNTY
- PROJECT BEGINNING DATE.....SEPTEMBER 2014
- BMP'S DEPLOYMENT DATE.....SEPTEMBER 2014
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....MIKE FORD (801) 644-5100
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses, and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Perspective View



Section

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)	
Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Unroll the silt fence, positioning the post against the downstream wall of the trench.
- Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

should generally be less than three (3) times the height of the fence.

- If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
- Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench.
- The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION

- Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
- When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

REMOVAL

- Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

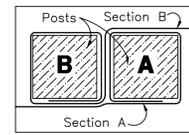
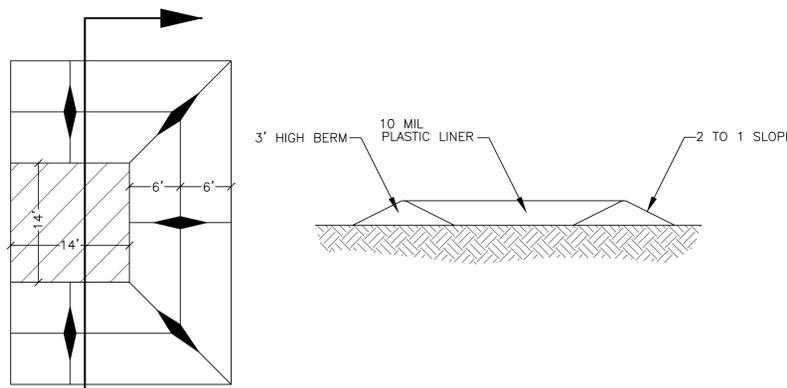


Figure 1:
Top View of
Roll-to-Roll Connection

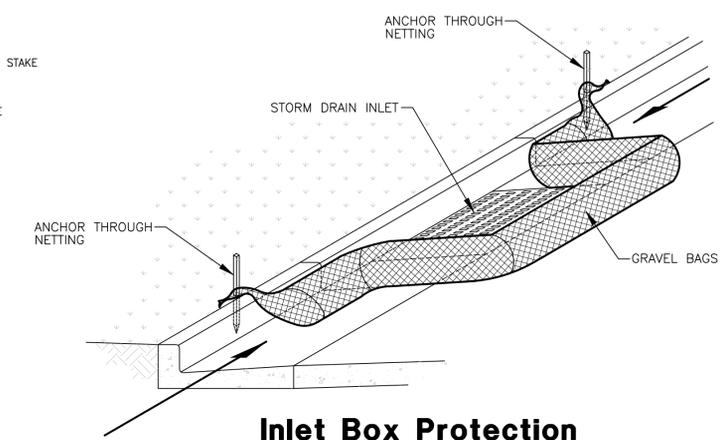
Silt Fence Detail

SCALE: NONE

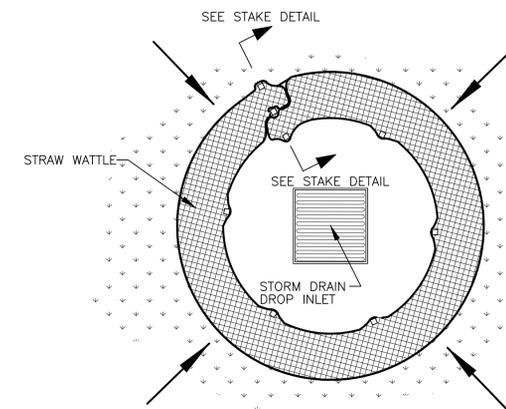


**Concrete Washout Area
w/ 10 mil Plastic Liner**

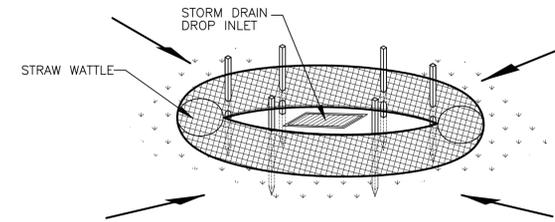
SCALE: NONE



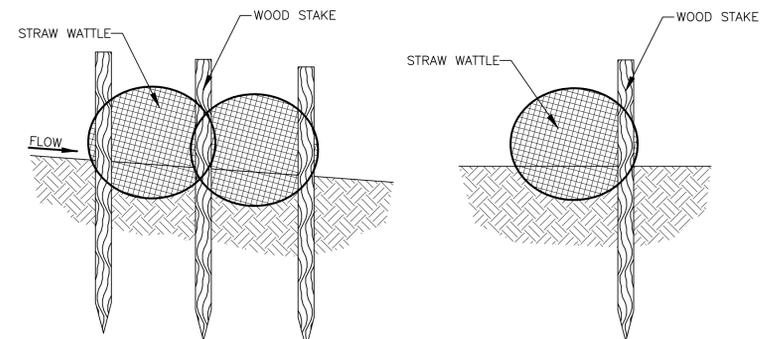
Inlet Box Protection



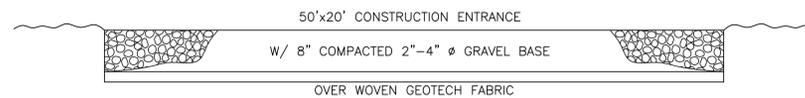
Plan View



Drop Inlet Protection



Stake Detail



Cross Section 50' x 20' Construction Entrance

Reeve & Associates, Inc.
920 CHAMBERS STREET, SUITE 14, OGDEN, UTAH 84403
TEL: (801) 621-2100 FAX: (801) 621-2666 www.reeve-assoc.com
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRA ARCHITECTS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
	9-30-14	ST City Comments

Bravo Arts Academy
RIVERDALE CITY, WEBER COUNTY, UTAH
**Storm Water Pollution
Prevention Plan Details**

REGISTERED PROFESSIONAL ENGINEER
375328
J. NATE REEVE
STATE OF UTAH

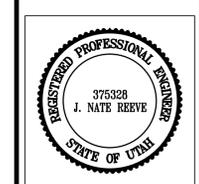
Project Info.
Engineer: J. NATE REEVE, P.E.
Drafted: R. HANSEN
Begin Date: SEPTEMBER 3, 2014
Name: BRAVO ARTS ACADEMY
RIVERDALE
SITE PLAN
Number: 4671-09

Sheet **10**
9 Sheets

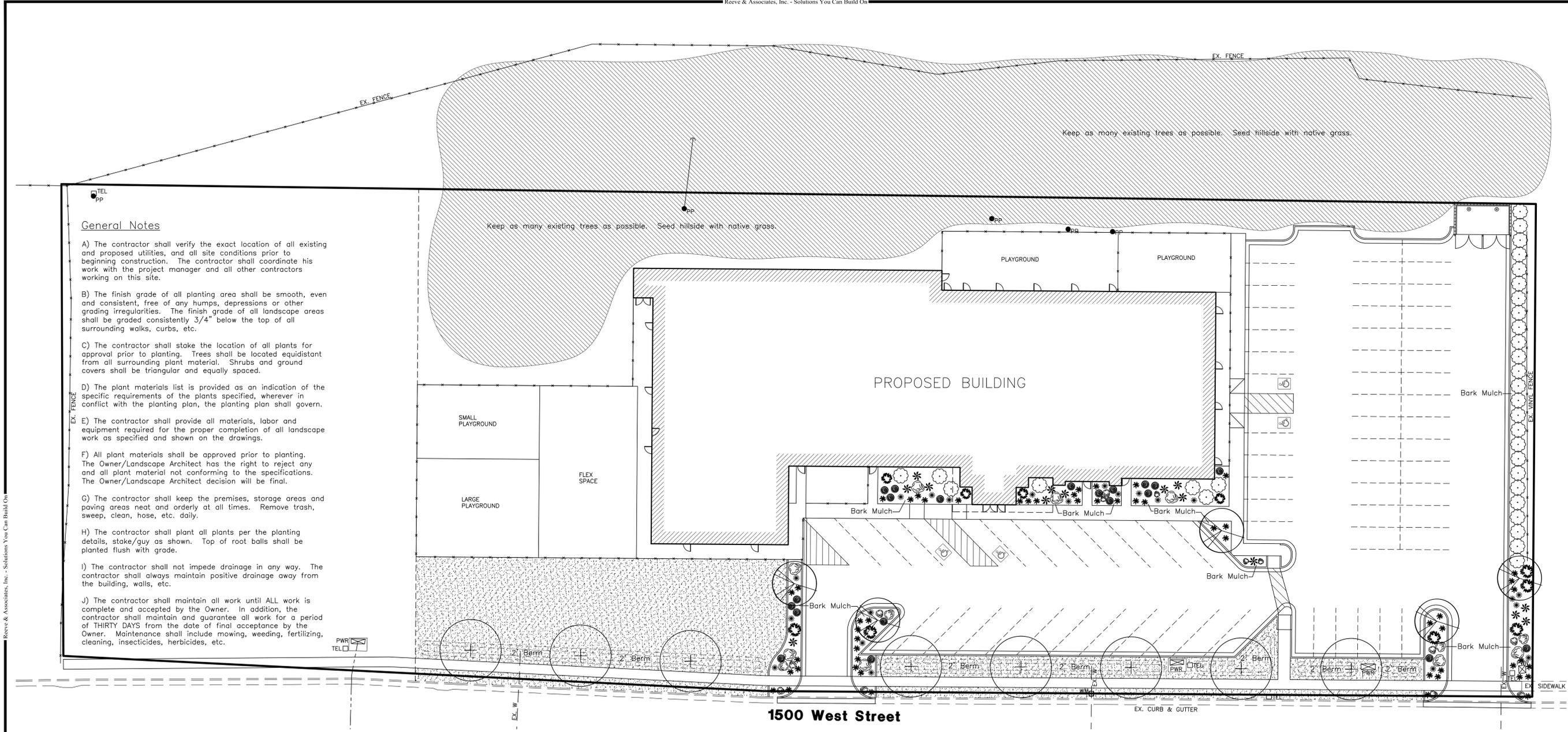
REVISIONS	DESCRIPTION
DATE	

Bravo Arts Academy
 RIVERDALE CITY, WEBER COUNTY, UTAH

Landscape Plan



Project Info.
 Engineer: J. NATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2014
 Name: BRAVO ARTS ACADEMY
 RIVERDALE
 LANDSCAPE PLAN
 Number: 4671-09



- General Notes**
- A) The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on this site.
 - B) The finish grade of all planting area shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs, etc.
 - C) The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be triangular and equally spaced.
 - D) The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
 - E) The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
 - F) All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
 - G) The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
 - H) The contractor shall plant all plants per the planting details, stake/guy as shown. Top of root balls shall be planted flush with grade.
 - I) The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walls, etc.
 - J) The contractor shall maintain all work until ALL work is complete and accepted by the Owner. In addition, the contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing, cleaning, insecticides, herbicides, etc.

Plant Table

TREES

Quantity	Symbol	Scientific Name	Common Name	Planting Size
8	(Symbol)	Acer freemanii 'Celzam'	Celebration Maple	2" cal.
5	(Symbol)	Prunus cerasifera 'Thundercloud'	Thundercloud Plum	2" cal.

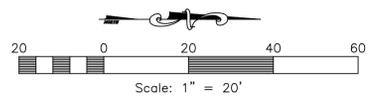
SHRUBS

Quantity	Symbol	Scientific Name	Common Name	Planting Size
32	(Symbol)	Euonymus alatus 'Compacta'	Dwarf Burning Bush	5 gal.
10	(Symbol)	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5 gal.
20	(Symbol)	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	5 gal.

PERENNIALS

Quantity	Symbol	Scientific Name	Common Name	Planting Size
14	(Symbol)	Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.
52	(Symbol)	Hemerocallis spp.	Daylily	1 gal.
21	(Symbol)	Salvia 'May Night'	May Night Salvia	1 gal.

- (Symbol) Decorative Boulders
 - (Symbol) Turf Grass - To be sodded.
 - (Symbol) Existing Trees - Keep as many existing trees as possible. Seed hillside with native grass.
- NOTE: All beds shall have a 3" layer of Shredded Bark Mulch. Replenish as needed to maintain mulch depth.
 NOTE: Irrigation to be designed by owner's licensed landscape contractor. See sprinkler note.



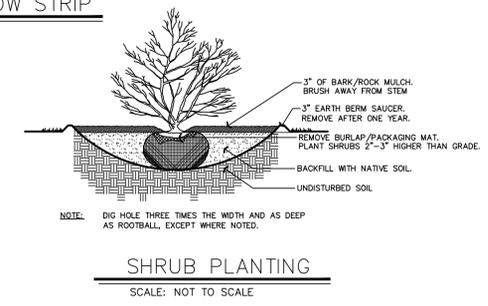
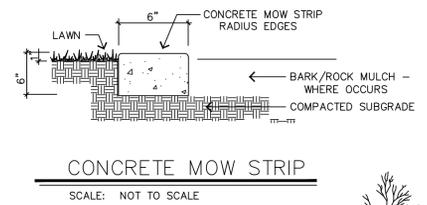
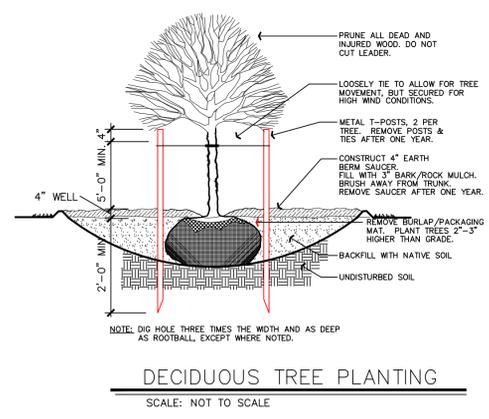
SPRINKLER NOTE

All Plant Material shown on the drawing shall be serviced by an Automatic Underground Irrigation System. The Contractor is to have a qualified Irrigation System specialist prepare a design for an Automatic Underground Irrigation System and submit drawings to the Engineer for approval at least 30 days prior to the system installation. Underground Irrigation System Drawings shall be prepared on 24"x36" sheet, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fittings and all other items required for proper installation of the system.

The Landscape Contractor shall be responsible for the installation of all irrigation sleeves prior to placement of hard improvements. Coordinate with the General Contractor.

The Landscape Contractor is to provide an Irrigation System connection (meter and backflow preventer assembly) to the waterline, as applicable, within State and Local jurisdictional codes. The Irrigation Contractor is responsible to coordinate this item with the Utility Contractor.

The Irrigation Control Box shall be located at the direction of the Project Manager.

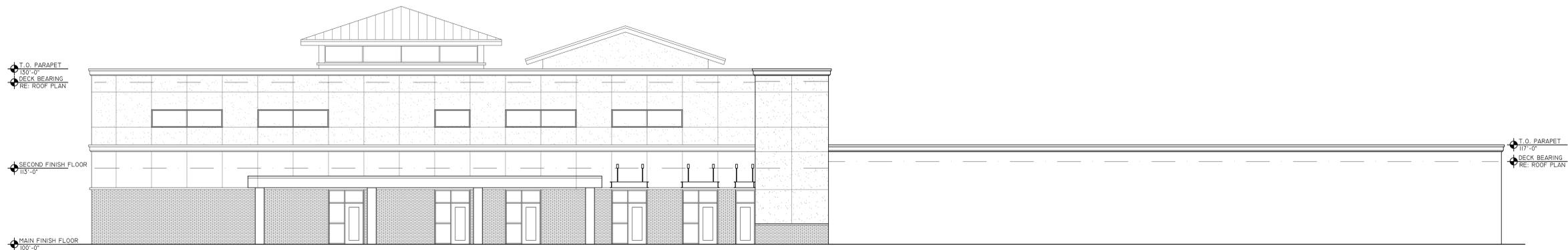




EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

**BRAVO ARTS ACADEMY
AND DAYCARE**

1500 WEST & 5175 SOUTH
RIVERDALE, UTAH

MARK	DATE	DESCRIPTION

DATE: OCTOBER 17, 2014
AGENCY PROJECT NO:
HFSA PROJECT NO: 1414.01
CAD DWG FILE NO:

DRAWN BY: KV
DESIGNED BY: KV
DWG TYPE:
ARCHITECTURAL PHASE: PERMIT SET

SHEET TITLE

**EXTERIOR
ELEVATIONS**

A2.1



EAST ELEVATION

SCALE: 1/8" = 1'-0"

**BRAVO ARTS ACADEMY
AND DAYCARE**

1500 WEST & 5175 SOUTH
RIVERDALE, UTAH

MARK	DATE	DESCRIPTION

DATE: OCTOBER 20, 2014
 AGENCY PROJECT NO: _____
 HFSA PROJECT NO: 1414-01
 CAD DWG FILE NO: _____
 DRAWN BY: kv
 DESIGNED BY: kv
 DWG TYPE: _____
 ARCHITECTURAL PHASE: PERMIT SET

SHEET TITLE

EXTERIOR
ELEVATIONS

A2.1



Bravo Arts Academy-Riverdale

Engineers Cost Estimate - Improvements within ROW

9/24/14

SKT

4671-09

Description	Item	Unit	Unit Price	Amount	
Culinary Water					
8" Fire Line		1 ea	\$5,500.00	\$5,500.00	\$5,500.00
Street Improvements					
Std.Sidewalk	540 l.f.		\$16.00	\$8,640.00	
Access Drive	2 l.s.		\$4,000.00	\$8,000.00	\$16,640.00
Misc.					
Landscape					
Sod	1,450 s.f.		\$0.30	\$435.00	
Irrigation	1 l.s.		\$1,500.00	\$1,500.00	
Landscape Berms	1 l.s.		\$650.00	\$650.00	\$2,585.00
Total					\$24,725.00

8 October 2014

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Bravo Arts Academy**
Subj: Cost Estimate Review

Dear Mike,

I have reviewed the above referenced site plan cost estimate and submit the following review comments, which should to be considered:

General Comments:

1. The construction costs for the Handicap Ramp should be added to the cost estimate.

Should you have any questions feel free to contact our office for clarifications.

Sincerely,
CEC, Civil Engineering Consultants, PLLC.



N. Scott Nelson, P.E.
City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official and Inspector

**DEVELOPMENT AGREEMENT
MAFCO Riverdale LLC
BRAVO ARTS ACADEMY
LOCATED AT 5165 SOUTH AND 1500 WEST
RIVERDALE CITY, UTAH**

This Development Agreement is entered into as of this ____ day of September, 2014, by and between MIKE FORD, as the developer of a project known as "BRAVO ARTS ACADEMY (old HAYWARD BUSINESS PARK LOTS1&4)" (the "Project"), located at 5165 South 1500 West in the City of Riverdale, a municipality and political subdivision of the State of Utah, by and through its City Council (the "City").

RECITALS:

A. Mike Ford is the developer of approximately 2.74 acres of real property located in the City of Riverdale, Weber County, Utah, known as the "BRAVO ARTS ACADEMY (old HAYWARD BUSINESS PARK LOTS 1&4)." The property consists of approximately 2.74 acres, the legal descriptions and map are attached as Exhibit A, parcels of which are zoned CP-3

B. Mike Ford is willing to design and develop the Project in a manner that is in harmony with, and intended to promote, the long-range policies; goals; and objectives of the City's general plan, zoning and development regulations, as more fully set forth below.

C. The City, acting pursuant to its authority under *Utah Code Annotated*, § 10-9a-101, *et seq.*, and in furtherance of its land use policies; goals; objectives; ordinances; resolutions; and regulations, has made certain determinations with respect to the proposed Project and, in the exercise of its legislative discretion, has elected to approve this Development Agreement.

NOW, THEREFORE, in consideration of the mutual covenants, conditions, and terms as more fully set forth below, MAFCO RIVERDALE LLC and the City hereby agree as follows:

1. **Approval of Overall Development Plan for Project.**

1.1 **Property Affected by This Agreement.** It is the intention and understanding of the parties that the development will comply with all requirements of zoning. The legal description of the Property contained within the Project boundaries is Hayward Business Park Lots 1&4. No additional property may be added to this description for purposes of this Agreement, except by written amendment to this Agreement executed and approved by the parties hereto. In the event that circumstances change, the parties may agreed to a deviation of the planned use and projected future phase site plans in a written amendment to this Agreement executed and approved by the parties hereto, with approval not unreasonably withheld.

1.2 **Planned Uses.** The planned uses in the Project, which have been approved as a part of the final site plan, include the following. All uses which are

substantially similar or incidental to those listed below shall be considered approved planned uses.

- a. Nursery school and preschool (daycare)
- b. Private Education (music and dance)

2. Reserved, Not used.

3. The Developer represents to the City that the Plat for this proposed Development complies with all City, county, state, and federal laws and regulations, including but not limited to: subdivision ordinances; zoning ordinances; and environmental regulations. This has been reviewed and approved by the City.

4. **Specific Architectural and Design Standards.** The Project shall comply with the specific architectural and design standards set forth below, in addition to the other applicable ordinances and regulations of Riverdale City.

4.1.1 **Landscaping Requirements.** Landscaping requirements shall include landscaping in the areas West of 1500 West and 5175 South.

4.1.2 Approval shall include the approved landscaping as shown, which is attached hereto and incorporated by this reference. Enlarged copies will be on file with the City. This plan includes the following information:
Landscape Area: 20% Business/Commercial Areas within (including public right-of-ways; landscape to include all green planting; decorative hardscape; and xeriscape.

4.1.3 Final Landscaping Plan. The final landscaping plan shall be submitted for review and approval and shall include the following terms and conditions:
a. The total area under development;
b. Designed by a registered Landscape Architect;
c. A list of plants and trees and their size and location.

4.2 **Architectural Standards.** The Project shall comply with the architectural standards, which are intended to ensure that the front, side, and rear exterior treatment of the buildings shall be as generally depicted on the enlarged exhibits on file with the City.

4.3 **Parking.** The Project shall comply with the proposed parking on the site plan and which shall be depicted on the final engineering and building plans.

4.4 reserved not used.

4.5 **Signs.** The Developer represents to the City that all signage for this proposed Development complies with all City, county, state, and federal

laws and regulations, including but not limited to: subdivision ordinances; zoning ordinances; jurisdictional codes; and environmental regulations. The City shall be responsible for enforcing said ordinances.

- 4.6 Utilities. Plans for water, sewer, streets, and storm drainage shall be reviewed and approved by the Design Review Committee. All utilities, including drainage systems; sewer; gas and water lines; electrical; telephone and communication wires and related equipment; irrigation ditches and/or pipes, shall, where possible, be installed and maintained underground. Developer shall, at developer's expense, prepare; grant; and deliver to the City, any and all necessary utility easements for any and all city owned utilities.
- 4.7 Equipment.
- a. Mechanical equipment (including, but not limited to components of plumbing, processing, heating, cooling, and ventilating systems) shall be appropriately screened when possible, as depicted on the approved site plan and related exhibits referenced herein, or as otherwise approved by the Design Review Committee.
 - b. Any necessary exterior components of such mechanical equipment shall be approved by the Design Review Committee and integrated to the extent reasonably possible as part of the architectural design features and colors.
 - c. Equipment, mechanical devices, electric transformers, utility pads, cable television and telephone boxes shall be appropriately screened, where possible, by vegetation, walls, fences, or otherwise enclosed in a manner harmonious with the overall architectural theme and character of the Project.
- 4.8 Additional Use Restrictions. The property shall not be used in such a manner as to create a nuisance to any adjacent sites such as, but not limited to, vibration; sound; electro-mechanical disturbance and radiation; air or water pollution; dust; emissions of noxious matter; or placement, dumping or blowing refuse, paper or other garbage.
- a. The Developer shall provide adequate sound attenuation, in accordance with the requirements of the Design Review Committee.
 - b. Outside speakers, pagers and sound or music systems of any kind or nature whatsoever are strictly prohibited unless the sounds are inaudible from any residential zone.
 - c. No vending machines or newspaper racks will be permitted outside of the building overhang area.
 - d. Lighting may not spill over to nearby residential areas and LED lights that use less energy are encouraged. These will include both shielded and directed lighting.

- e. The Developer and/or business owner is responsible for the perpetual maintenance of the common area landscaping, open space areas and common areas of the Plat and will provide that all landscaping (trees, plants, sod, etc.) within the Plat shall be maintained and remain alive and in good quality, and disease-free.

4.9 Substructures, Storage/Refuse Collections, Flags and Flag Poles, Etc.

- a. All outdoor storage shall be visually screened from access streets, freeways, and adjacent property.
- b. Refuse removal, trash collection, and lot sweeping shall occur between the hours of 7:00 a.m. and 10:00 p.m.

5. Vested Rights and Reserved Legislative Powers.

5.1 Vested Rights. Subject to the provisions of this Agreement, Mike Ford shall have the right to develop and construct the Project in accordance with the uses, densities, intensities, and general configuration of development approved by this Agreement, subject to compliance with the other applicable ordinances and regulations of Riverdale City.

5.2 Reserved Legislative Powers. Nothing in this Agreement shall limit the City's future exercise of its police power in enacting generally applicable land use laws after the date of this Agreement. Notwithstanding the retained power of the City to enact such legislation under the police powers, such legislation shall only be applied to modify the vested rights of Mike Ford under this Agreement based upon policies; facts; and circumstances meeting the compelling, countervailing public interest exception to the vested rights doctrine in the State of Utah. Any such proposed change affecting the vested rights of the Project shall be of general application to all development activity in the City and, unless the City declares an emergency, Developer shall be entitled to prior written notice and an opportunity to be heard with respect to the proposed change and its applicability to the Project under the compelling, countervailing public policy exception to the vested rights doctrine.

6. Design Review Committee.

6.1 The Design Review Committee shall meet on an as-needed basis to review final engineering and building plans for the Project. The Design Review Committee is authorized to grant building permit approval if the final engineering and building plans are in compliance with the provisions of this Agreement. In the event of a dispute between the Design Review Committee and the Developer, the issue (s) in dispute shall be submitted for a decision to the City Council. The Design Review Committee must review all aspects of the Project to ensure that it meets the plans approved by the Planning Commission and City Council. The Developer shall pay for any additional professional review of the projects as necessary.

- 6.2 Design Review Committed Membership and Organization. Unless otherwise listed by code, the Design Review Committee shall be:
- a. Mayor (or his designee);
 - b. City Administrator;
 - c. Building & Zoning Official;
 - d. City Planner;
 - e. Planning Commission Chairman (or his designee);
 - f. Community Development Director; and
 - g. Public Works Director.

The mayor or in his absence, the City Administrator, shall serve as Chairman of the Design Review Committee. The City Building Official shall ensure developer compliance with all decisions of the Design Review Committee. The Design Review Committee may consult with other City staff and retain the services of other consultants (such as an architect, landscape architect, or traffic engineer) as necessary to review technical compliance with the provisions of this Agreement.

7. Successors and Assigns.

- 7.1 Binding Effect. This Agreement shall be binding on the successors and assigns of Mike Ford in the ownership or development of any portion of the Project.
- 7.2 Assignment. Neither this Agreement nor any of the provisions, terms, or conditions hereof may be assigned to any other party, individual, or entity without assigning the rights, as well as the responsibilities, under this Agreement and without the prior written consent of the City, which consent shall not be unreasonably withheld. Any such request for assignment may be made by letter addressed to Riverdale City and the prior written consent of the City may also be evidenced by letter from the City to Mike Ford. This restriction on assignment is not intended to prohibit or impede the sale of parcels of fully improved, partially improved, or unimproved land by Mike Ford prior to construction of building improvement on the parcels, with Mike Ford retaining all rights and responsibilities under this Agreement. Upon completion of the development project, as defined herein, Developer shall not be required to seek approval for alienation of the project.

8. General Terms and Conditions.

- 8.1 Term of Agreement. The term of this Agreement shall be for a period of ten (10) years following the date of its adoption by the City Council, unless the Agreement is earlier terminated or its term modified by written amendment to this Agreement.

- 8.2 Agreement to Run With The Land. This Agreement may be recorded in the office of the Weber County Recorder against the Property and is intended to, and shall be, deemed to run with the land and shall be binding on all successors in the ownership of any portion of the Property.
- 8.3 Construction of Agreement. This Agreement shall be construed so as to effectuate the public purpose of implementing long-range planning objectives, obtaining public benefits, and protecting any compelling countervailing public interest, while providing reasonable assurances of continuing vested development rights.
- 8.4 State and Federal Law. The parties agree, intend, and understand that the obligations imposed by this Agreement are only such as are consistent with state and federal law. The parties further agree that if any provision of this Agreement becomes, in its performance, inconsistent with state or federal law, or is declared invalid, this Agreement shall be deemed amended to the extent necessary to make it consistent with state or federal law, as the case may be, and the balance of this Agreement shall remain in full force and effect.
- 8.5 Relationship of Parties and No Third-Party Rights. This Agreement does not create any joint venture, partnership, undertaking, or business arrangement between the parties hereto, nor any rights or benefits to third parties.
- 8.6 Laws of General Applicability. Where this Agreement refers to laws of general applicability to the Project, this Agreement shall be deemed to refer to other laws of Riverdale City.
- 8.7 Integration. This Agreement contains the entire agreement between the parties with respect to the subject matter hereof and integrates all prior conversations, discussions or understandings of whatever kind or nature and may only be modified by a subsequent writing duly executed and approved by the parties hereto.
- 8.8 Applicable Law. This Agreement is entered into under and pursuant to, and is to be construed and enforceable in accordance with, the laws of the State of Utah.

9. Miscellaneous provisions.

- 9.1. City Storm-Water Management Plan. To the extent allowable under the applicable Development Regulations, stormwater entering the subject Development will be collected and transported into the existing public

drainage system in accordance with those standards and conditions approved and accepted by the City.

9.1.1. Maintenance Agreement. The Developer and/or current business owner must execute an inspection and maintenance agreement that shall operate as a deed restriction binding on the current property owner and all subsequent property owners. The maintenance agreement shall:

- a. Assign responsibility for the maintenance and repair of the stormwater facility to the owner of the property upon which the facility is located and be recorded as such on the plat for the property by appropriate notation.
- b. Provide for a periodic inspection by the property owner for the purpose of documenting maintenance and repair needs and ensure compliance with the purpose and requirements of this chapter. The property owner will arrange for this inspection to be conducted by a registered professional engineer licensed to practice in the State of Utah who will submit a sealed report of the inspection to the public works department every two (2) years. It shall also grant permission to the City to enter the property at reasonable times and to inspect the stormwater facility to ensure that it is being properly maintained.
- c. Provided that the minimum maintenance and repair needs include, but are not limited to, the removal of silt; litter; and other debris, the cutting of grass; grass cutting and vegetation removal; and the replacement of landscape vegetation in detention and retention basins and inlets and drainage pipes and any other stormwater facilities. It shall also provide that the owner shall be responsible for additional maintenance and repair needs consistent with the needs and standards outlined in the maintenance plan.
- d. Provide that the maintenance needs must be addressed in a timely manner, on a schedule to be determined by the public works department and homeowners' association.
- e. Provide that if the property is not maintained or repaired within the prescribed schedule, the public works department shall have the maintenance and repair done at its expense and bill the same to the property owner(s). The maintenance agreement shall also provide that the public works department cost of performing the maintenance shall be a lien against the property.
- f. The City shall have the discretion to accept the dedication of any existing or future stormwater management facility, provided such

facility meets the requirements of this chapter, and includes adequate and perpetual access and sufficient areas, by easements or otherwise, for inspection and regular maintenance. Any stormwater facility accepted by the municipality must also meet the municipality's construction standards and any other standards and specifications that apply to the particular stormwater facility in question.

- 9.2. Development Site Clean Up. The Developer shall promptly clean up any and all dirt and debris deposited on public streets or public property as a result of construction activity on the Plat. If Developer fails to clean up such dirt and debris within forty-eight (48) hours of notification by the City, the City shall clean up said dirt and debris and agrees to pay the City's costs of such cleanup within thirty (30) days of billing.

10. Default.

10.1. Events of Default.

10.1.1. Upon the happening of one or more of the following events or conditions, Developer or City, as applicable, shall be in default ("Default") under this Agreement:

- a. A warranty, representation or statement made or furnished by Developer under this Agreement is intentionally false or misleading in any material respect when it was made;
- b. A determination by City made upon the basis of substantial evidence that Developer has not complied in good faith with one or more of the material terms or conditions of this Agreement;
- c. Any other act or omission, either by City or Developer, which (i) violates the terms of this Agreement, or (ii) materially interferes with the intent and objectives of this Agreement.

10.2. Procedure Upon Default.

10.2.1. Upon the occurrence of Default, the non-defaulting party shall give the other party thirty (30) days written notice specifying the nature of the alleged default and, when appropriate, the manner in which said Default must be satisfactorily cured. In the event that the Default cannot reasonably be cured within thirty (30) days, the defaulting party shall have such additional time as may be necessary to cure such default so long as the defaulting party takes action to begin curing such default within such thirty (30) day period and thereafter proceeds diligently to cure the default. After proper notice and expiration of said thirty (30) days or other

10.5. No Waiver. Failure of a party hereto to exercise any right hereunder shall not be deemed a waiver of any such right and shall not affect the right of such party to exercise at some future time said right or any other right it may have hereunder. Unless this Agreement is amended by vote of the City Council taken from the same formality as the vote approving this agreement, no officer, official or agent of City has the power to amend, or later modify this Agreement or waive any of its conditions as to bind City by making any promise or representation not contained herein.

10.6. Attorney's Fees. Should any party hereto employ an attorney for the purpose of enforcing this Agreement, or any judgment based on this Agreement, for any reason or in any legal proceeding whatsoever, including insolvency; bankruptcy; arbitration; declaratory relief; or other litigation, including appeals or rehearsings, and whether or not an action has actually commenced, the prevailing party shall be entitled to receive from the other party thereto reimbursement for all attorney's fees and all costs and expenses. Should any judgment or final order be issued in any proceeding, said reimbursement shall be specified therein.

10.7. Notices.

All notices hereunder shall be given in writing by certified mail, postage prepaid, at the following addresses:

If to the City: Riverdale City Council
4600 South Weber Drive
Riverdale, Utah 84405
Fax No.: (801) 399-5784

With a copy to: Riverdale City Attorney
4600 South Weber Drive
Riverdale, Utah 84405
Fax No.: (801) 399-5784

If to Developer: MAFCO Riverdale LLC
c/o Mike Ford
620 E 1700 S
Clearfield, UT 84015

10.8. Effectiveness of Notices. Any notices sent by certified mail shall be effective on the date on which such notice is sent. Any party may change its address or notice by giving written notice to the other party in accordance with the provisions with this section.

10.9. Applicable Law. This Agreement is entered into under and pursuant to, and is to be construed and enforceable in accordance with, the laws of the State of Utah.

DATED as of the day and year first written above.

MAFCO Riverdale LLC

By _____
It's _____

RIVERDALE CITY

Attest:

City Recorder

By
Mayor

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
October 14, 2014**

AGENDA ITEM: F1

SUBJECT: Discretionary Items

PETITIONER: Elected, Appointed, and Staff

ACTION REQUESTED BY PETITIONER: Open agenda item provided for comments or discussion on discretionary items.

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